



**PLANNING COMMISSION  
REGULAR MEETING  
ANOKA CITY HALL  
Tuesday, June 7, 2016  
7:00 P.M.**

**AGENDA**

- 1. Call to Order.**
- 2. Approval of Minutes:**
  - a. Approval of May 3, 2016 Regular Meeting Minutes
  - b. Approval of May 17, 2016 Work Session Meeting Minutes
- 3. New Business:**
  - a. None
- 4. Old Business:**
  - a. None
- 5. Public Hearings on Applications:**
  - a. A2016-10  
Variance  
1423 4<sup>th</sup> Avenue
  - b. A2016-11  
Preliminary Plat & Site Plan Review  
Green Haven Parkway Addition/1 Vista Way
- 6. Miscellaneous:**
  - a. Upcoming meetings:  
Work Session - Tuesday, June 21 at 6:00 pm  
Regular Meeting – Wednesday, July 6 at 7:00pm
- 7. Adjourn.**



Auxiliary aids for handicapped persons are available upon request at least 96 hours in advance. Please call the City Manager's office at (763) 576-2710 to make arrangements.

NOT APPROVED  
ANOKA PLANNING COMMISSION  
REGULAR MEETING  
ANOKA CITY HALL  
TUESDAY, MAY 3, 2016  
7:00 P.M.

CALL TO ORDER:

The regular meeting of the Anoka Planning Commission was called to order at 7:00 p.m.

ROLL CALL:

Planning Commissioners present: Chair Don Kjonaas, Peter Rech, Karna Brewer, Borgie Bonthuis, and Manley Brahs.

Planning Commissioners absent: Sandy Herrala and James Cook.

Staff present: Associate Planner Darnell

APPROVAL OF MINUTES:

a. Approval of April 5, 2016 Regular Meeting Minutes

Commissioner Brewer referred to page 17 of the minutes, third paragraph. She clarified the second line should read, "The building is full of classrooms and the people who are using the classrooms and live in the townhomes ~~are~~ cannot have cars on the premises."

Commissioner Brewer referred to page 18 of the minutes, fifth paragraph. It should read, "Commissioner Bonthuis asked ~~if~~ if the site is irrigated."

**MOTION WAS MADE BY COMMISSIONER BRAHS, SECONDED BY COMMISSIONER BREWER, TO APPROVE THE REGULAR MEETING MINUTES OF APRIL 5, 2016**

5 ayes – 0 nays. Motion carried.

NEW BUSINESS:

None.

OLD BUSINESS:

a. **A2015-5 Variance Extension, 208 Clay Street**

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Associate Planner Darnell reported the applicant, Anoka County, has submitted a request for an extension of a previously approved variance at the property at 208 Clay Street. The applicant had previously applied for two variances to construct a new single-family house on the property, and the City of Anoka approved the variances on May 18, 2015. The variances that were approved were to reduce the required front yard setback from 25 feet to 13.5 feet and to increase the amount of impervious surface coverage from 35% to 39.8%.

Associate Planner Darnell reported the applicant has requested an extension of 6 months. The applicant is in need of an extension due to delays in determining how to treat the shared garage that is located along the east side of the property. The existing garage is shared with the neighboring property owner, and the garage is currently located over the property line between the two properties. The applicant has developed new plans for how to treat the garage, which will change the originally approved site plans that were reviewed during the variance review in 2015.

Associate Planner Darnell reported this application was considered at the April 5, 2016 Planning Commission meeting, and was postponed to allow for the applicant to address concerns that the Planning Commission had with the new site plan.

Associate Planner Darnell reported since the April 5, 2016 Planning Commission meeting, the applicant has had conversations with the neighboring property owner. After the applicant shared the details of their structural engineer's report, the neighboring property owner stated that he was content with the plan to split the existing garage and keep his portion of the garage intact. He was generally content with other aspects of the applicant's proposed plans, including the 3-foot distance proposed between the two garages, but still desired to see the new garage setback from the front property line the same distance as the existing garage.

Associate Planner Darnell stated the applicant has adjusted their site plan since the April Planning Commission meeting to address some of the concerns that were raised at that meeting. The applicant has shifted the new garage and driveway to the west, and is proposing to locate the garage as close to the proposed house as possible. City Code requires that a minimum distance of 5 feet be maintained between principle and accessory structures, and this 5-foot distance is now shown on the applicant's updated site plan.

Associate Planner Darnell reported the portion of the existing garage that will remain will actually encroach 2 feet into the property at 208 Clay Street, even though it will remain under ownership of the neighboring property owner. After shifting the proposed new garage to the west as close to the proposed house as possible, the proposed new garage will be setback 5.91 feet from the property line. It will then be 3.91 feet from the existing garage that will remain intact, which is a slight increase from the 3 feet that was proposed between the two garages in the site plan that was reviewed at the April Planning Commission meeting. Staff has verified

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that there are not building or fire code issues with accessory structures being located 3.91 feet apart.

Associate Planner Darnell stated the variance to increase the impervious surface coverage to 39.8% was previously approved because the additional hard surface that caused the increase was due to the new home construction and not the addition of a larger driveway or paved area. The proposed new garage will necessitate a new driveway. However, the size of the proposed driveway is actually smaller than the existing concrete driveway that would have remained under the originally approved site plan. The existing driveway on the property at 208 Clay Street is 687 square feet. The proposed driveway to access the new garage is 542 square feet. An additional 83 square feet of the existing driveway will remain to provide access to the portion of the existing garage that will be maintained. Therefore, the total amount of paved surface that is proposed on the property is 625 square feet, which is a reduction in paved surface from the originally approved site plan.

Associate Planner Darnell stated staff believes that the original reasons for approving the variances are still valid, even with the proposed changes to the site plan. The same practical difficulties exist at the property. The applicant has demonstrated that the request is still reasonable, that there are physical circumstances unique to the property causing the need for the variances, and that the request will still not alter the essential character of the neighborhood.

Associate Planner Darnell reported staff also believes, based on the new information that the applicant has obtained from a structural engineer, that the condition of their portion of the existing garage necessitates the removal and reconstruction of a new garage. The fact that the partition wall was constructed 2 feet over the shared property line is a unique physical circumstance that was not created by the property owner themselves. This unique circumstance could be considered a practical difficulty, and is resulting in the new garage be located only 3.91 feet from the portion of the existing garage that will remain.

Associate Planner Darnell stated under normal circumstances, each detached garage would have a 5-foot setback from the property line and therefore create a space of 10 feet between the structures. The applicant is meeting their required side yard setback and is proposing to locate the garage as far from the property line as possible, while still meeting the other side yard setback and keeping the required amount of space between the proposed new garage and house. However, they have no control over the encroachment of the neighboring property owner's garage into their property.

Staff recommends approval of the variance extension with the inclusion of the original conditions that still apply and two new conditions:

1. Construction on the site shall be consistent with the site plan dated April 25, 2016.
2. The structure shall be compatible in scale, mass, form and color with adjacent structures and the pattern of the surrounding neighborhood.

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3. The house building lines, variable rooflines, door and window placement shall minimize blank wall mass and house orientation to the street must present a balanced and pleasing view from all sides.
4. Landscaping shall be consistent with the landscaping plans dated March 23, 2016. The landscaping shall include a minimum of 2 trees and 8 shrubs. One of these trees will serve as the replacement for the existing tree on the northeast corner of the property that will be removed during construction. Trees shall be a minimum 2 1/2 inches in diameter if deciduous, or six (6) feet in height if coniferous, measured at 4.5 feet above ground. Replacement trees shall be balled and burlap. Landscaping must be complete prior to Certificate of Occupancy and have a warranty period of one year from installation.
5. The applicant shall install a French drain or something similar as approved by the City's Engineering Department, on the interior fence line between 208 Clay Street and the property to the west. The applicant shall also submit a drainage plan to address potential run-off from the driveway to the house. This plan shall be approved by the City's engineering department.
6. Exterior materials (siding, soffit, doors and windows) should be maintenance free. Brick, aluminum, vinyl, steel and stucco are preferred.
7. The applicant shall construct an exterior wall on the west side of the portion of the existing garage that will remain to be of similar building materials to the other sides of the existing garage.
8. Façade treatments - The following 7 elements shall be used as design features on the home.
  - Roof overhangs (minimum 12 inches on front, side and rear elevations)
  - Front façade containing no garage doors as garage is a separate structure
  - Decorative front door (minimum 25% glazing)
  - Accent siding, colored shakes on front gable, to match front door
  - Window grids, permanent, on front four windows only.
  - Gable accent or decorative gable vents
  - Change in elevation of roof ridge

Commissioner Brewer commented there is a law that states if a structure is destroyed by more than 50%, it can be rebuilt on its existing footprint. She discussed with Associate Planner Darnell the encroachment of the existing garage onto the neighboring property and what would happen if the existing garage was destroyed. She requested language be added that states the existing garage would not be rebuilt on the neighboring property.

Associate Planner Darnell stated the City attorney is still doing some research on this. If the garage was damaged enough to be replaced, the applicant would need to submit building permits. At that point the City attorney would need to determine the final action on how it should be treated.

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Chair Kjonaas inquired if it could be added as a condition. Associate Planner Darnell stated he was not comfortable making it a condition based on the attorney not knowing whether the nonconforming language would allow him to place the structure two feet into the property. The nonconforming language might trump a condition of approval.

Commissioner Bonthuis asked why the garage is not being taken down beyond the partition so the garage does not encroach on the property. Associate Planner Darnell stated the agreement stated the party wall between the two garages must be maintained. The garage owner owns the structure that is encroaching on the county's land, not the land.

Ms. Karen Skepper, Director of Community and Government Relations for Anoka County, stated the County's attorneys have determined the shared party wall does encroach on the County's property by a couple of feet. The County is consenting to the continued use of the garage as long as it remains there under this agreement. The property line is diagonal, so it only deals with the garage portion of the property and not two feet all the way down the property line.

Commissioner Rech asked if the County anticipates any difficulty in selling the newly constructed home due to the encroachment of the neighbor's garage. Ms. Skepper stated party wall agreements exist for this type of issue. The market for this type of home is high and they do not anticipate it to be an issue. The agreement will be clearly explained and put in writing, and they will suggest to future homebuyers they do the same.

Associate Planner Darnell commented the City attorney has determined that if the City approves the removal of the garage and construction of a new garage, any damage that might occur to the existing garage is between the two property owners and the City is not liable.

**MOTION WAS MADE BY COMMISSIONER BRAHS, SECONDED BY COMMISSIONER BONTHUIS, TO APPROVE THE APPLICATION A2016-5 VARIANCE EXTENSION, 208 CLAY STREET, WITH THE FOLLOWING CONDITIONS:**

1. Construction on the site shall be consistent with the site plan dated April 25, 2016.
2. The structure shall be compatible in scale, mass, form and color with adjacent structures and the pattern of the surrounding neighborhood.
3. The house building lines, variable rooflines, door and window placement shall minimize blank wall mass and house orientation to the street must present a balanced and pleasing view from all sides.
4. Landscaping shall be consistent with the landscaping plans dated March 23, 2016. The landscaping shall include a minimum of 2 trees and 8 shrubs. One of these trees will serve as the replacement for the existing tree on the northeast corner of the property that will be removed during construction. Trees shall be a minimum 2 1/2 inches in diameter if deciduous, or six (6) feet in height if coniferous, measured at 4.5

- feet above ground. Replacement trees shall be balled and burlap. Landscaping must be complete prior to Certificate of Occupancy and have a warranty period of one year from installation.
5. The applicant shall install a French drain or something similar as approved by the City's Engineering Department, on the interior fence line between 208 Clay Street and the property to the west. The applicant shall also submit a drainage plan to address potential run-off from the driveway to the house. This plan shall be approved by the City's engineering department.
  6. Exterior materials (siding, soffit, doors and windows) should be maintenance free. Brick, aluminum, vinyl, steel and stucco are preferred.
  7. The applicant shall construct an exterior wall on the west side of the portion of the existing garage that will remain to be of similar building materials to the other sides of the existing garage.
  8. Façade treatments - The following 7 elements shall be used as design features on the home.
    - Roof overhangs (minimum 12 inches on front, side and rear elevations)
    - Front façade containing no garage doors as garage is a separate structure
    - Decorative front door (minimum 25% glazing)
    - Accent siding, colored shakes on front gable, to match front door
    - Window grids, permanent, on front four windows only.
    - Gable accent or decorative gable vents
    - Change in elevation of roof ridge

Commissioner Brewer stated she is proud of the applicant and neighboring homeowner for coming to an agreement so the application can move forward.

5 ayes – 0 nays. Motion carried.

#### PUBLIC HEARINGS ON NEW APPLICATIONS:

None.

#### MISCELLANEOUS:

Next work session will be Tuesday, May 17, 2016 at 6:00 p.m.  
Next regular meeting will be Tuesday, June 7, 2016 at 7:00 p.m.

Associate Planner Darnell advised on the work session agenda, there may be a discussion about home occupations and there has been one application received for the regular meeting.

Commissioner Brewer stated she will not be at the work session meeting.

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ADJOURNMENT:

**MOTION WAS MADE BY COMMISSIONER BREWER, SECONDED BY COMMISSIONER RECH, TO ADJOURN THE MEETING.**

5 ayes – 0 nays. Motion carried.

Time of adjournment: 7:22 p.m.

Submitted by Chuck Darnell, Associate Planner



**PLANNING COMMISSION  
WORK SESSION  
ANOKA CITY HALL COMMITTEE ROOM  
Tuesday, May 17, 2016  
6:00 P.M.**

**CALL TO ORDER:**

The Work Session of the Anoka Planning Commission was called to order at 6:00 p.m.

**ROLL CALL:**

Commissioners present: Chair Don Kjonaas, Borgie Bonthuis, Manley Brahs, Sandy Herrala, Peter Rech and James Cook.

Commissioners absent: Karna Brewer.

Staff present: Chuck Darnell, Associate Planner.

**DISCUSSION ITEMS:**

**1. Discussion – Planned Unit Development Size**

Associate Planner Darnell introduced the topic, reviewing a recent development project that required a variance to create a Planned Unit Development (PUD) smaller in size than the minimum sized PUD that is normally required by City Code. The City Code currently states that a PUD must be at least five acres in size. This initiated a discussion by the City Council on whether that size requirement accurately reflects the types of development and redevelopment sites that are available in the City.

Staff reviewed other development sites available in the City and completed research on other cities that regular PUD size. Based on that information, staff is proposing that the ordinance language related to the five acre minimum PUD size be updated to better reflect the development opportunities in the City of Anoka. Staff proposed that the language be changed as follows: Planned Unit Development districts (PCD, PID, PRD, PTOD), which may consist of a parcel or contiguous parcels of land, shall be not less than two acres or more in size. Tracts of less than two acres may be approved only if the Applicant can demonstrate that a project of superior design can be achieved or that greater compliance with comprehensive plan goals and policies or adopted master plans can be attained through the creation of a PUD district.

Chair Kjonaas asked what the negative impacts would be ok keeping the minimum size PUD at 5 acres. Staff stated that if smaller development sites were to request a PUD, they would need to request a variance. Staff also stated that the PUD language provides the City with much discretion in reviewing and approving a PUD, and the size allowed would not impact that.

Commissioner Rech shared research that he completed on the size of development sites available in the City of Anoka's Development Opportunities booklet. He determined that only 5 sites were larger than 5 acres, 11 sites were larger than 3 acres, and 16 sites were larger than 2 acres.

Commissioner Bonthuis stated that if the PUD size was reduced to 2 acres, more of the development sites would meet the minimum size requirement.

Commissioner Cook asked what the benefit would be to the City to reduce the size to 2 acres. Staff stated that it would provide more flexibility in the marketing and eventual development of the city-owned development sites. Staff stated again that it would not impact the City's discretion in reviewing and approving a proposed PUD.

The Commissioners discussed the smaller size, and determined that they would find the smaller minimum size requirement for a PUD acceptable. Associate Planner Darnell stated that staff would draft language changes and bring them forward at a future meeting.

## 2. **Discussion – Home Occupations in Accessory Structures**

Associate Planner Darnell provided an overview of a past request for an interim use permit to operate a home occupation in an accessory structure on a property in Anoka. The request was denied due to the inability of the applicant to show that the proposed use would be temporary in nature, as required by the zoning ordinance.

Staff also updated the Commissioners on a discussion that occurred at a City Council worksession, in which the Council directed staff to draft changes to the ordinance that would not allow for home occupations to be conducted in accessory structures.

Commissioner Rech shared research that he completed on other cities' regulations on home occupations being conducted in accessory structures. Commissioner Rech found that many other communities, especially inner-ring cities, did not allow it.

Commissioner Bonthuis stated that inner-ring cities may not allow them due to the size of their lots and the impacts that home occupations could have on surrounding properties.

Commissioner Herrala stated that she felt that home occupations in accessory structures did

not seem like a good fit for Anoka based on the development pattern of the City.

Chair Kjonaas stated that he would rather see some types of home occupations allowed in accessory structures, rather than to not allow any home occupations at all. He stated that the home occupations could also only be located in detached accessory structures, so that the home occupation does not use up space in an attached garage that should be reserved for vehicles or other normal household storage.

Commissioner Bonthuis stated that outdoor storage around accessory structures and detached accessory structures with home occupations could become an issue. Associate Planner Darnell stated that having home occupations in a detached structure would create a situation where a small commercial building is located on a residential lot. It would also allow for homeowners to specifically construct detached buildings to run a business, which does not necessarily meet the code requirements of the home occupation being accessory or secondary to the principal use of the property as a residence.

Commissioner Brahs stated that he felt that home occupations in accessory structures were not a good fit for properties in Anoka. He also stated that the definition of home occupation implies that the occupation is conducted in the home, not in an accessory structure.

Commissioner Cook stated that the logistics of operating a home occupation outside of a home would be difficult, in terms of heating, electricity, and other amenities normally required to operate an office or a business.

Chair Kjonaas stated that it could be possible that only certain types of home occupations would be allowed in accessory structures, such as those with no loud activities or customers.

Commissioner Rech stated that it would be difficult to determine which home occupation should be permitted and not permitted, and which ones would be better suited in accessory structures. Staff stated that it would also be difficult to enforce, as there would always be requests for home occupations that were not identified on the list as allowable in an accessory structure.

Chair Kjonaas asked whether the City would be restricting small businesses from operating if home occupations were not allowed in accessory structures. Staff stated that the recent request to operate in an accessory structure was the first formal request received, so there haven't been many other small businesses requesting this.

Commissioner Rech stated that the detached accessory structure seems to be more of a commercial use, which does not meet the intent of the home occupation being secondary.

Commissioner Bonthuis stated that allowing home occupations in accessory structures could also create a potential for property owners to rent out their garages or other structures for third parties to run businesses. Staff stated that this would create a difficulty in enforcement of the home occupation code.

Chair Kjonaas stated that the Planning Commission should hold off on providing any guidance to staff, and allow the Commissioners to think about the item further. He suggested that it be brought back again at the next worksession.

### **3. Discussion – Accessory Structure Permit Process**

Associate Planner Darnell provided an update on the Minnesota State Building Code, which was recently changed to state that buildings of 200 square feet or less do not require a building permit. Previously, buildings of 120 square feet or less did not require a building permit, and that size is still referenced in the Anoka City Code. With the change in the State Building Code, the City can no longer require that a building permit be obtained for buildings less than 200 square feet. Therefore, the City has no way to monitor the placement of these types of buildings for compliance with zoning code requirements. Buildings of this size used to be reviewed by staff to ensure that they complied with height, setback, impervious surface coverage, and size/number of accessory structure requirements.

Staff stated that they have been considering adding an accessory building review process to the City Code, which would require a review process for any building smaller than 200 square feet. This review would be completed administratively by staff, and the review fee would be similar in cost to a fence or sign permit fee.

Chair Kjonaas stated that the Planning Commission had discussed this briefly when they were considering ordinance language on temporary structures.

Commissioner Cook agreed with Chair Kjonaas, and asked how many requests the City receives for this sized building. Associate Planner Darnell stated that there have been many requests as the building season has begun, and staff has been informally asking people about their property to determine whether the addition of another accessory building would violate any zoning regulations on their property.

Commissioner Bonthuis stated that staff should have an opportunity to review the addition of accessory structures to properties to ensure that zoning regulations are being complied with.

The Commissioners directed staff to draft up a review process, and to bring back to the Planning Commission for consideration at a future meeting.

**4. Discussion – Swimming Pools and Impervious Surface Coverage**

Associate Planner Darnell introduced the topic, and described some recent scenarios in which property owners were interested in constructing a swimming pool, but the construction was not allowable due to issues with exceeding maximum allowable impervious surface coverage. Staff completed research, and found that some other cities exempt swimming pools from their impervious surface coverage calculations.

Staff listed the reasons for and against counting swimming pools in impervious surface coverage calculations. Staff also stated that the Public Services Department felt that swimming pools should be included in impervious surface coverage calculations, and that has been the City's practice in the past.

Chair Kjonaas stated that he understood the argument for not including the water surface area of swimming pools, as they do not cause an increase in stormwater run-off from a property.

Commissioner Herrala asked what the impact would be of exempting the swimming pool from the calculations. Staff stated that it would allow for a lot to be more fully built out with less actual green space, as a property owner could construct a large pool that would take up space but not be counted toward the impervious surface coverage.

Commissioner Bonthuis stated that a homeowner could add a cover to their pool, and that many pools do have covers, and this would then function as an impervious surface and increase stormwater runoff from the property. For that reason, it should be kept in the calculation of impervious surface coverage.

Staff also stated that one recent request was received to potentially offset the additional square footage of coverage from a swimming pool by adding an engineered rain garden or other storage system to accommodate the same amount of stormwater runoff.

Commissioner Cook and Commissioner Rech discussed the storage capacity of stormwater tanks, and whether the ordinance could be updated to allow tanks or rain gardens to offset the square footage of surface water added by a swimming pool. Staff stated that it may be better to not specifically allow that in the ordinance, but to consider that as a condition of approval on a potential variance request. This would allow for the City to impose conditions that those other technologies or rain gardens are maintained so as to actually function as stormwater management facilities long term.

Commissioner Herrala stated that adding the ordinance language would allow any property to fully build out their lot, regardless of whether a special circumstance existed creating the need to do so.

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The Commissioners determined that a change to the ordinance would not be necessary, and that individual scenarios could be considered on a case-by-case basis. The Commissioners directed staff to continue the practice of counting swimming pools in impervious surface calculations.

Time of adjournment 7: 25 p.m.  
Submitted by: Chuck Darnell, Associate Planner

# STAFF REPORT



Application A2016-10  
Rear Yard Setback Variance  
Alan Untereker  
1423 4<sup>th</sup> Avenue

## **BACKGROUND**

The applicant, Alan Untereker, is requesting a variance to allow for the construction of a new deck at 1423 4<sup>th</sup> Avenue that will result in a rear yard setback that is smaller than the minimum rear yard setback required. The property is located in the R-1 Single Family Residential zoning district.

The minimum rear yard setback in the R-1 zoning district is 25 feet. Decks are allowed to encroach into a front or rear yard setback area by a distance of 6 feet, therefore any deck must be located at least 19 feet from a rear property line. The deck that is being proposed would be located only 15.5 feet from the rear property line.

The applicant had a deck on the property in a similar location, but it was removed because it was in poor condition. That deck was nonconforming, as it was located only 17.5 feet from the rear property line. The applicant would like to expand the size of the deck to create a more functional space, which is resulting in the variance request for the smaller rear yard setback.

The following information is relevant to this request:

Lot Dimensions: 116 feet wide; 83 feet deep  
Lot Size: 9,628 square feet

Previous Deck Setback from Rear Property Line: 17.5 feet  
Proposed Deck Setback from Rear Property Line: 15.5 feet

Enclosed for your review:

- Site Location Map
- Site Photos
- Site Plan (Submitted by Applicant)
- Proposed Setbacks
- Letters of Support from Surrounding Property Owners (Submitted by Applicant)

## **VARIANCE REVIEW**

In considering a request for a variance, the City must make findings of fact for the following:

- (1) The proposed variance is in harmony with the general purpose and intent of the zoning ordinance.***

In general, yard controls are established to provide for the orderly development and use of land and to minimize conflicts among land uses by regulating the dimension and use of yards in order to provide adequate light, air, open space and separation of uses. Specifically, the purpose of a side yard setback is to create separation from adjacent buildings and provide adequate light and air between buildings. The proposed deck would meet the required side yard setbacks, and therefore would not have any negative impact on the properties that share side lot lines.

The purpose of a rear yard setback is to create separation from adjacent buildings and to provide adequate light, air, and rear yard space between buildings. The property at 1420 3<sup>rd</sup> Avenue, which shares a rear lot line with the subject property, is 248 feet deep. That property's depth is over double the minimum depth required of a single family lot, which is 120 feet. The single family dwelling that is located on the property at 1420 3<sup>rd</sup> Avenue is setback about 160 feet from the rear property line. The proposed deck would be located 15.5 feet from the rear property line, only 2 feet closer than the deck that was previously located on the property. The proposed deck would be far from the existing structure at 1420 3<sup>rd</sup> Avenue, and the applicant is arguing that the proposed deck would not cause any issues related to building separation or the ability to provide for adequate light, air, and space between buildings or uses.

The circumstances mentioned above result in the request being in harmony with the general purpose and intent of the zoning ordinance.

**(2) *The proposed variance is consistent with the comprehensive plan.***

There are various statements and goals in the 2030 Comprehensive Plan that relate to this request.

- Land Use Chapter Goal: *Consider physical development within a community-wide framework which recognizes the unique aspects of the City's setting and ensures top quality design of new construction and development.*
- Land Use Chapter Goal: *Protect and maintain the stability and diversity of the City's neighborhoods.*
- Housing Chapter Goal: *Increase the quality and value of the existing single family housing unit in the City of Anoka.*

The applicant is improving their property by constructing a new deck. In general, the 2030 Comprehensive Plan and City goals are to improve residential properties and reduce blight. Therefore, in general, the granting of variance would be consistent with the 2030 Comprehensive Plan.

**Variations may be granted when the applicant for the variance establishes that there are practical difficulties in complying with the zoning ordinance. Economic considerations alone do not constitute practical difficulties. Findings for a practical difficulty are:**

1. *That the property owner proposes to use the property in a reasonable manner not permitted by this ordinance.*

The applicant is proposing to replace a 200 sf. deck with a deck that is 240 sf. in size. The applicant is arguing that the increased size of the deck would provide for a more functional space and would better meet their needs. The 240 sf. deck is a reasonable size, and is not so dissimilar from other decks on single family residential properties in the City of Anoka. Therefore, the property owner is proposing to use the property in a reasonable manner.

The applicant could replace the deck in the same footprint that it previously existed without the need for a variance. However, this would maintain a nonconforming structure and the applicant is arguing that the previous size of the deck would not meet their needs. The applicant has decided that they would rather request the variance than reconstruct the nonconforming structure to formalize the existence of the structure.

In general, the deck that the applicant is proposing would be considered a reasonable use of the property.

2. *That the plight of the landowners is due to physical circumstances unique to the property not created by the landowner.*

As stated above, the deck that was previously located on the property was nonconforming because it was located only 17.5 feet from the rear property line. This deck was constructed prior to the current owner purchasing the home. The home has a sliding glass door on the upper level that was constructed to access the deck, which makes the proposed location of the deck the most feasible for the property owner.

The lot in question is a nonconforming lot of record for two reasons. One is that the lot is smaller than the minimum lot area requirements in the R-1 Single Family Residential zoning district at 9,682 sf. The lot is also only 83 feet deep, and the minimum lot depth for a lot on which a single family dwelling is erected is 120 feet. The applicant is arguing that this creates a practical difficulty for the property owner in meeting all of the necessary zoning regulations when considering the construction of the deck. The home itself is only setback 27.5 feet from the rear property line, which creates a difficulty in constructing a deck on the back of the house without the need for a variance.

The deck could be reconstructed in its previous location because Anoka City Code allows for the reconstruction of nonconforming structures in their exact footprint. However, the

applicant wishes to expand the deck to a more functional size and formalize the structure with the variance, rather than reconstruct a nonconforming structure.

Given the unique size of the lot, specifically the smaller lot depth, and the existing configuration of the home on the lot, staff believes that there are physical circumstances unique to the lot not created by the property owner that results in the need of a variance.

**3. *The proposed variance, if granted, will not alter the essential character of the locality.***

The property is located in a neighborhood surrounded by other single family homes. The poor condition of the previous deck was creating a negative impact on the character of the neighborhood, and the applicant intends to improve the locality by reconstructing the deck. The variance would create a deck that would not look out of place with the other improvements that have occurred on the surrounding properties. The property owner has also compiled letters of support from the adjacent property owners, all of which are supportive of the construction of the deck and the positive impact it will have on the property and the neighborhood. Overall the garage will be an improvement to the property and the surrounding neighborhood, and the factors described above should result in a new deck not being drastically different as to alter the essential character of the locality.

**RECOMMENDATION**

Staff believes that the applicant's arguments could be considered to meet the criteria required to grant a variance based on the findings listed above. There could also be an argument that a variance is not necessarily required because the applicant has the ability to reconstruct the deck in its previous location, based on the previous deck's nonconforming status.

Staff believes that the unique size of the lot, specifically the lot depth that is much smaller than the normal depth required for a single family lot, creates a difficulty in the applicant meeting the rear yard setback requirements. If the Planning Commission agrees with the applicant's arguments as described above, the granting of the variance would meet the criteria and would not cause any negative impacts on surrounding properties or the character of the locality.

If the Planning Commission does not agree with the applicant's arguments and recommends denial of the variance, a finding could be that the applicant has the ability to reconstruct a nonconforming structure and have a deck on the property without the need for a variance.

If the Planning Commission recommends approval, staff recommends that approval be contingent on the following conditions:

- 1.) The deck shall be constructed to be consistent with the plans submitted on April 18, 2016.

- 2.) The deck shall be constructed to be setback 15.5 feet from the rear property line.
- 3.) The applicant shall obtain a building permit prior to construction.

If the Planning Commission recommends denial of the variance, with the required findings, the applicant would still have the ability to reconstruct the deck in its previous location because the previous deck was nonconforming. This would allow the applicant to construct a deck that is setback 17.5 feet from the rear property line.

### **COMMISSION ACTION**

- The Commission may recommend approval of variance with any necessary conditions.
- The Commission may recommend denial of the variance with required findings.
- The Commission may postpone the application with reason.

Chuck Darnell  
Associate Planner

**Site Map**  
**1423 4th Avenue**  
**Variance Application - June 7, 2016**



Map Created: May 25, 2016



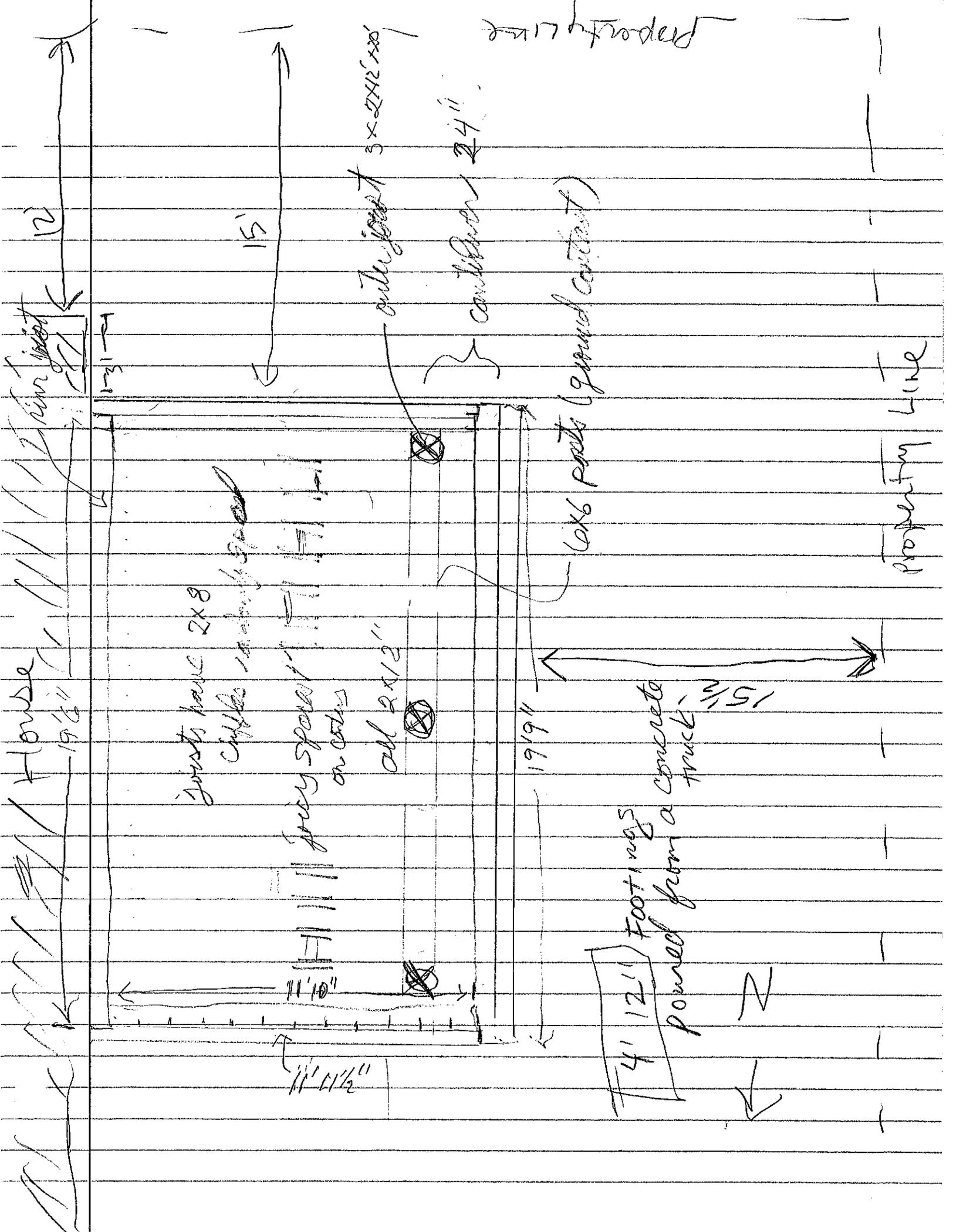
06/01/2016



06/01/2016



06/01/2016



House

rim joist

Property Line

Joists have 2x8  
Chills in-between

joist spacing 16"  
on centers

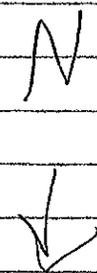
all 2x12"

outlet joist 3x2x12x100

cantilever 24"

6x6 posts (ground contact)

6x12 Footings  
poured from a concrete  
truck 15 1/2"



Property Line

19' 8"

15'

11' 10"

11' 1 1/2"

19' 9"

12"



Illustration intended to show general deck size and shape. Some Options selected may not be shown for picture clarity.

**Estimated Price:**

**\$2,962.09**

\*Today's estimated price, future pricing may go up or down. Tax, labor, and delivery not included.

**Base Price:**

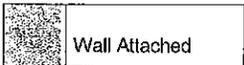
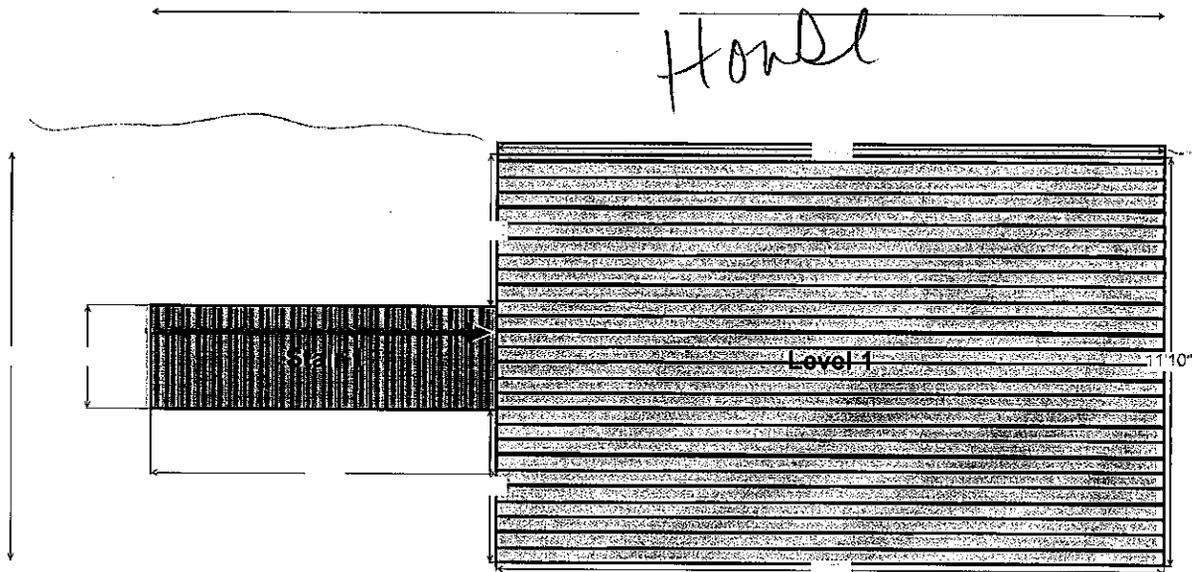
**\$1,209.97**

\*\*The base price includes: 40 PSF deck live load, AC2 5/4x6 deck boards in horizontal direction, AC2 4x4 framing posts, precast concrete (1 bag) footing, AC2 joists and beams with two feet cantilever, galvanized framing fasteners and joists hangers, and premium deck board screws.

Final design should be performed by a registered professional engineer to ensure all applicable building codes and regulations are met.

This is an estimate. It is only for general price information. This is not an offer and there can be no legally binding contract between the parties based on this estimate. The prices stated herein are subject to change depending upon the market conditions. The prices stated on this estimate are not firm for any time period unless specifically written otherwise on this form. The availability of materials is subject to inventory conditions. MENARDS IS NOT RESPONSIBLE FOR ANY LOSS INCURRED BY THE GUEST WHO RELIES ON PRICES SET FORTH HEREIN OR ON THE AVAILABILITY OF ANY MATERIALS STATED HEREIN. All information on this form, other than price, has been provided by the guest and Menards is not responsible for any errors in the information on this estimate, including but not limited to quantity, dimension and quality. Please examine this estimate carefully. MENARDS MAKES NO REPRESENTATIONS, ORAL, WRITTEN OR OTHERWISE THAT THE MATERIALS LISTED ARE SUITABLE FOR ANY PURPOSE BEING CONSIDERED BY THE GUEST. BECAUSE OF THE WIDE VARIATIONS IN CODES, THERE ARE NO REPRESENTATIONS THAT THE MATERIALS LISTED HEREIN MEET YOUR CODE REQUIREMENTS.

Ticket # →  
 Gopher 1  
 CALL BEFORE YOU DIG  
 11/09/1578  
 9 AM  
 4-18-16



**Estimated Price:**

**\$2,962.09**

\*Today's estimated price, future pricing may go up or down. Tax, labor, and delivery not included.

**Base Price:**

**\$1,209.97**

\*\*The base price includes: 40 PSF deck live load, AC2 5/4x6 deck boards in horizontal direction, AC2 4x4 framing posts, precast concrete (1 bag) footing, AC2 joists and beams with two feet cantilever, galvanized framing fasteners and joists hangers, and premium deck board screws.

Final design should be performed by a registered professional engineer to ensure all applicable building codes and regulations are met.

**Proposed Deck & Setbacks**  
**1423 4th Avenue**  
**Variance Application - June 7, 2016**



May 17, 2016

To: The Anoka City Council

We understand that Alan & Jill Untereker at 1423-4<sup>th</sup> Ave, Anoka, MN wish to replace their existing deck with a new deck that will extend approximately 18" further to their west lot line than the original resulting in a variance. Alan said that he plans to use the existing footings from the original deck & extend the deck surface area approximately 18" west beyond the footings.

We have no objections to this variance. The new deck will be an improvement to their property.

Respectfully,

Steve & Terri Setterberg  
324 Washington St.  
Anoka, MN

Steve J. Setterberg  
M Setterberg

To whom it may concern:

Don and Tomi Fryer have spoken with Allan and Jill Untereker concerning the desire to re-build a deck off of their house.

They wish to make the deck another 18-24 inches wider (west) than the previous deck that was there. We not only have no problem with their plans but believe that it would enhance the appearance and function of the deck. It would not interfere with any sightlines, cause any problems with neighborhood functions and would add value to the property.

It would be aesthetically pleasing.

Don & Tomi Fryer

4-24-16

328 Washington St

To Whom it MAY concern:

I am neighbors with Allan and Jill WINTERKER.

I have no problem with the new Deck they are planning to Build.

The old one was falling apart. The new one would improve

the look of the area. It is much needed, and turn

their VERY NARROW PROPERTY into a much more user friendly

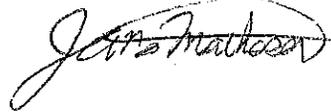
SPACE. ~~without~~ without Encroaching on the neighbors Behind  
Them.

James Matheson

1426 4th Ave

Anoka, MN 55303

4-18-16

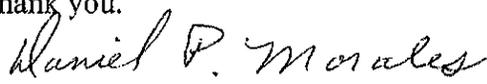


To whom it may concern,

I am Dan Morales, next door neighbor to Alan & Jill Unterecker on Ath ave. S. in Anoka.

Alan explained his plans to expand a new deck towards the back property line and your concerns regarding any encroachment towards the backyard of the neighbors behind him. I don't see any problem with his plans as I have been told by the city that this area of the yard is actually a catch basin, not part of the neighbor's property. His deck plans have no impact on my property as well. I hope that these comments help you to rule on a variance in his favor.

Thank you.

Handwritten signature of Daniel P. Morales in cursive script.

1415 4<sup>th</sup> ave. S. Anoka. MN

612 590 6809 (c)

763 427 7392 (h)

Dear City Council Members,

Alan and Jill Untereker of 1423 4th Ave. would like to build a deck that is 16 inches deeper to the west than their previous deck. It would not encroach on the neighbors behind them due to the vast lot between the structures. It would increase their narrow lots usefulness. The new deck would not cause any conflict in our neighborhood, but it would increase the property and aesthetic value of 1423 4th Ave.

Kind regards,

Dirk McHugh

Heidi Roehl-McHugh

A handwritten signature in cursive script, appearing to read "Heidi Roehl-McHugh", with a long horizontal flourish extending to the right.

April 24, 2016

Anoka City Council:

I am writing this letter of support on behalf of my son, Alan Untereker. I write this letter as an interested citizen of Anoka County. Alan is caught in an unusual set of circumstances. He is trying to do what I think you want of all your residents; keep up the appearance, value and utility of their property. For reasons which have seemingly been lost long ago, the lots along 4<sup>th</sup> Avenue were not created with a uniform length or depth. Alan's lot happens to be quite long and very narrow. Most of the time this does not affect Alan and Jill's daily lives. But sometimes it does, and so far these times have not been to their advantage. A while back, the street in front of their house was repaved. Alan and Jill had to pay the highest assessment on their block simply because their lot is the longest on the street.

Now, they need to replace their old and failing deck. Their request, to make it a useful 12 feet wide (to the west) is very reasonable as the proposed deck is not larger than most private decks. This would not be a problem if they lived in any other house on their block, but because their lot is only 83 feet wide, they cannot meet the 25-foot setback requirement. They only miss the requirement by 1 ½ feet.

Importantly, it is not as if this additional 1 ½ foot will encroach or inconvenience their neighbors to the west. That particular lot is very deep and their house is set back at least a hundred feet from Alan and Jill's west property line. Furthermore, there is a natural barrier of trees and shrubs between these two lots on the west side (I doubt the neighbors can even see Alan and Jill's deck – and certainly not tell if it is 1 ½ foot wider or narrower).

One duty of the City Council to ensure that Anoka's citizens are treated fairly and uniformly. Another is to ensure that these same citizens are not unfairly penalized due to unique circumstances. I think this is one of those cases where your thoughtful intervention is needed to save an injustice by approving this variance. It is also in the city's interest as the deck Alan and Jill plan on building will not only increase their enjoyment of their property, but will also increase the value of the 4<sup>th</sup> Avenue neighborhood.

Thank you for your consideration.

Sincerely,

Darrel Untereker, PhD

# STAFF REPORT



Application A2016-11  
Preliminary Plat & Site Plan Review  
Green Haven Parkway Addition/1 Vista Way  
AD Center, LLC

## BACKGROUND

The applicant, AD Center, LLC - property owner at 1 Vista Way, proposes to replat private and city-owned land that is located on the northeast corner of Thurston Avenue and Highway 10. The land that will be replatted encompasses the property that is addressed 1 Vista Way, 1 additional lot, and 2 surrounding outlots. The City of Anoka currently owns the 2 outlots that are included in the area that is being replatted. The name of the plat will be Green Haven Parkway Addition.

The purpose of the plat is to create a development parcel in the center of the existing property, and plat other areas as right-of-way and outlot to allow for the construction of Green Haven Parkway and required stormwater management infrastructure in the future.

The property owner has also submitted an application for site plan review to construct a 61,000 sf. building expansion on the north side of the existing office/warehouse building. The property is located in the M-2 General Industrial zoning district, and office and warehouse uses are both permitted in that zoning district.

Enclosed for your review:

- Site Location Map
- Site Photos
- Preliminary Plat
- Site Plan Package

## Surrounding Land Uses

	<b>EXISTING USES</b>	<b>ZONING DISTRICT DESIGNATION</b>	<b>EXISTING LAND USE DESIGNATION</b>
<b>NORTH</b>	Freight ROW/Light Industrial in AEP (Across Freight ROW)	ROW/M-1 Light Industrial (Across Freight ROW)	ROW/Light Industrial (Across Freight ROW)
<b>WEST</b>	Bank, Hotel, and Anoka Hennepin Tech College	B-1 Highway Business/M-1 Light Industrial	General Commercial/Institutional
<b>SOUTH</b>	Cemetery/Commercial (Across Highway 10)	R-1 Single Family Residential/B-2 Shopping Center Business (Across Highway 10)	Institutional/Shopping Center (Across Highway 10)
<b>EAST</b>	Open Space/Golf Course	R-F Rural Farm/R-1 Single Family Residential	Institutional/Park and Recreation

## **PRELIMINARY PLAT ANALYSIS**

The plat encompasses 24.11 acres and encompasses 4 existing properties.

The properties within the plat are Torrens. Torrens properties are properties that have been registered with the county recorder.

City code requires every proposed subdivision to be submitted to the City in the form of a preliminary plat for Planning Commission and City Council approval. If the preliminary plat is approved, the applicant must submit a subsequent (or concurrent) final plat application for City Council review and approval.

### **Lots**

The plat contains the lots described as follows:

#### **Lot 1, Block 1:**

Size: 19.22 acres

Existing Use: Warehouse/office building

Future Use: Continued use as warehouse/office building with a 61,000 sf. expansion

#### **Outlot A:**

Size: 1.97 acres

Existing Use: Vacant land owned by the applicant and the City of Anoka

Future Use: Will be used for shared stormwater management facilities to serve the future building expansion and the future construction of Green Haven Parkway

#### **Right-of-Way:**

Size: 2.92 acres

Existing Use: Vacant land owned by the applicant and the City of Anoka.

Future Use: Will be preserved for the future construction of Green Haven Parkway, which is the first phase of the Anoka Solution plans and is scheduled for construction in 2017

### **Easements**

The preliminary plat contains four easements which are described as follows:

- 1) 10 foot drainage and utility easement along the west, south, and southeast property lines of Lot 1. These easement areas will remain as they were recorded on the previous plat for this area (Eniva Addition).
- 2) 25 foot drainage and utility easement along the north property lines of Lot 1. This

easement follows the south and west side of the Green Haven Parkway right-of-way.

- 3) 10 foot drainage and utility easement along the east property line of Lot 1. This easement follows the west side of the Green Haven Parkway right-of-way.
- 4) 20 foot sanitary sewer easement through the center of Lot 1. This easement will remain as it was recorded in Document Numbers 52890 and 55052.

The Engineering Department has identified four other easements that should be identified on the final plat, which have all been included as conditions of approval. Those easements are as follows:

- 1) A 10 foot drainage and utility easement shall be identified on the final plat along the south lot line of Lot 1, which is measured as 257.24 feet.
- 2) Outlot A shall be covered by a drainage and utility easement.
- 3) The drainage and utility easement along the south and west side of the Green Haven Parkway right-of-way shall include sloping in the easement description on the preliminary plat.
- 4) A 20 foot drainage and utility easement shall be identified on the final plat to be centered over the existing public watermain along the west side of the parcel.

### **Streets/Access/Traffic**

The plat includes the dedication of ROW to the City of Anoka to allow for the future construction of Green Haven Parkway. This roadway is the first phase of the Anoka Solution plans for Highway 10, and is scheduled to be constructed in 2017. The City currently owns Outlot C, which is one of the outlots being replatted in the Green Haven Parkway Addition plat. This Outlot C was previously acquired by the City to allow for the construction of the roadway through the center of the site. Outlot C will be swapped with the applicant for the dedication of the ROW for Green Haven Parkway and the dedication of an outlot for stormwater management facilities necessary for the future roadway. The roadway will be constructed further north than was originally planned for in the alignment that went through Outlot C, which will allow for the existing building to be expanded.

The access to the site currently is directly onto Thurston Avenue, as well as onto West Garfield Street on the east side of the property. Direct access will be maintained onto Thurston Avenue in the interim, with access being diverted to Green Haven Parkway once that roadway is constructed. The site will maintain access onto West Garfield Street.

## **SITE PLAN ANALYSIS**

### **Architecture**

The applicant is proposing to construct a 61,000 sf. building addition on the north side of the existing building that is located on the site. The building addition will be a single story. The building addition will be 2' taller than the existing building, due to the grade sloping upwards on the northern portion of the site.

The exterior materials of the building addition will be precast concrete units with surfaces that have been treated with stone to provide for a decorative texture. The exterior finish will not include a raked texture. Precast concrete units with applied decorative material are a permitted type of exterior wall finish in the M-2 General Industrial zoning district. The exterior materials of the building addition will be colored so as to best match the existing building.

### **Zoning Requirements**

The following are the setbacks outlined in the M-2 General Industrial zoning district. The proposed building will become a corner lot with the construction of Green Haven Parkway. Therefore, the property will have 2 front yards on the north and west sides of the property, and 2 side yards on the east and south sides of the property. The proposed building will follow these setbacks:

	<b>Required</b>	<b>Proposed</b>
Front Yard Setback	20'	40'
Side Yard Setback	10'	226'

Source: Chapter 74, Article V, Division 4, Section 74-257 of Anoka City Code

The following table shows the percentage of impervious surface allowed in the M-2 zoning district:

<b>Maximum Building Coverage</b>	<b>Proposed Building Coverage</b>	<b>Maximum Lot Coverage</b>	<b>Proposed Lot Coverage</b>
50%	32.73%	85%	76.29%

The maximum building height allowed by City Code is 50' in the M-2 district. The total height of the proposed building addition is 24'.

### **Access/Circulation**

The access to the site currently is directly onto Thurston Avenue, as well as onto West Garfield Street on the east side of the property. Direct access will be maintained onto Thurston Avenue in the interim, with access being diverted to Green Haven Parkway once that roadway is constructed. The site will maintain access onto West Garfield Street.

Circulation through the site will be facilitated by a new access drive on the north side of the site, which will eventually connect to Green Haven Parkway. Truck traffic will use the north access drive to enter the property from Green Haven Parkway, and will enter a secure loading bay area on the east side of the building. Standard vehicles will enter and exit the property from West Garfield Street, as they do today, to access the main parking area that is located on the southeast portion of the site.

In the future when the Thurston Avenue interchange is constructed at the intersection of Thurston Avenue and Highway 10, the access directly onto Thurston Avenue on the west side of the site will be severed. At this point in time, the applicant may construct a drive from the parking areas on the west side of the building to the new access drive on the north to provide access from the west side of the building onto Green Haven Parkway. This future drive is shown on the site plan and the applicant would be pre-approved to construct this drive in the future if necessary.

A new concrete pad will be constructed on the east side of the building addition to allow for loading and unloading of trucks at the loading bays. This new concrete pad will connect with the existing concrete pad under the loading docks on the existing building. The plans currently show the remainder of the trailer parking area as Class V gravel as it exists today. However, Class V gravel is a nonconforming parking surface and Anoka City Code Section 74-257 (e)(4)(d) requires that nonconforming parking surfaces be updated to bituminous, concrete, or similar surface upon the need for a site plan approval. The update of the area shown as Class V gravel is included as a condition of approval.

### **Parking**

Anoka City Code requires that office uses in the M-2 zoning district provide a minimum of one parking stall per 250 square feet of floor area. The office portion of the building is 57,855 sf. in size, which equates to a requirement of 231 parking spaces.

Anoka City Code requires that warehousing uses in the M-2 zoning district provide a minimum of one parking stall per 2,000 square feet of floor area. The warehousing portion of the building is 237,218 sf. in size, which equates to a requirement of 118 parking spaces.

In total, a minimum of 349 parking spaces are required on the site, including the building addition. The plans currently show 281 exterior parking spaces on the property. The site plan also identifies a bituminous area on the southeast portion of the site to be used for overflow trailer and car parking. A condition of approval will be that an additional 68 parking spaces be identified within the overflow trailer and car parking area to meet the minimum parking requirement of 349 spaces.

### **Grading, Drainage and Utility Plans**

The plans have been reviewed by the Engineering Department and their comments have been incorporated into the proposed plans or the conditions of approval.

A stormwater infiltration basin is being proposed to be constructed on the north side of Green Haven Parkway in Outlot A. The stormwater basin has been sized to provide for the stormwater needs for the site and the new building addition, as well as for the future Green Haven Parkway roadway. A condition of approval will be that the owner enter into a development agreement, which will specify maintenance requirements for the stormwater basin located in Outlot A.

This stormwater basin will be constructed for volume retention, rate control, and water quality treatment to meet the Lower Rum River Watershed Management Organization (LRRWMO) stormwater requirements. The applicants have applied for a permit from the LRRWMO, and their application will be considered by the LRRWMO on June 16, 2016. A condition of approval will be that the applicant obtain the LRRWMO permit before construction.

### **Landscaping**

Anoka City Code states that all yards not occupied by parking, permitted open storage, or loading space shall either be landscaped, green areas, or be left in a natural state. All areas of the site around the building addition and parking areas that are not used for building or parking will be sodded to provide for green space. Landscaping exists around the south side of the building and around the entrances to the office portion of the building. These areas will be maintained, and the property owner plans to enhance these areas further as they are the most visible from Thurston Avenue and Highway 10.

### **Lighting**

Any lighting used to illuminate the off-street parking area shall be arranged as to reflect the light away from any adjacent properties, streets, or highways. Lighting shall not exceed 0.5 foot candle at nonresidential property lines measured on a vertical plane, consistent with the performance standards in the M-2 zoning district.

### **Waste Enclosures/Open Storage**

The waste enclosure is not located on the exterior of the building, so will not be visible on the property. There is no open storage associated with the use of the property, other than the parking of trucks and trailers in the designated areas on the east side of the site.

### **RECOMMENDATION**

Staff recommends approval of the preliminary plat for Green Haven Parkway Addition with the following conditions:

- 1) The applicant shall complete the transfer of land with the City of Anoka, to be consistent with the lots and right-of-way as shown on the preliminary plat.
- 2) A 10 foot drainage and utility easement shall be identified on the final plat along the south lot line of Lot 1, which is measured as 257.24 feet.
- 3) Outlot A shall be covered by a drainage and utility easement.
- 4) The drainage and utility easement along the south west side of the Green Haven Parkway right-of-way shall include sloping in the easement description on the preliminary plat.
- 5) A 20 foot drainage and utility easement shall be identified on the final plat to be centered over the existing public watermain along the west side of the parcel.

Staff recommends approval of the site plan for 1 Vista Way with the following conditions:

- 1) The completed site must be consistent with the site plan documents dated June 1, 2016 and all conditions stated herein.
- 2) The applicant shall obtain all necessary federal and state approvals and permits for the use of the site prior to construction.
- 3) The applicant shall obtain Lower Rum River Watershed Management Organization and National Pollutant Discharge Elimination System (NPDES) permits, and the completed site improvements must be constructed to be consistent with any conditions of approval included on those permits.
- 4) All necessary building and sign permits shall be obtained.
- 5) The applicant must provide a performance guarantee in the amount of 1.25 times the estimated cost of grading, parking lot improvements, landscaping and other exterior or public improvements, as authorized by Anoka City Code, Chapter 74, Article II, Section 74-38(e).
- 6) The developer must submit an as-built survey of the property to the City of Anoka Engineering Department upon completion of the project.
- 7) The applicant, AD Center, LLC, shall enter into a development agreement with the City of Anoka prior to construction. The development agreement should identify staging

considerations between the development work to be completed as shown in the site plan and the City road project to be constructed in 2017.

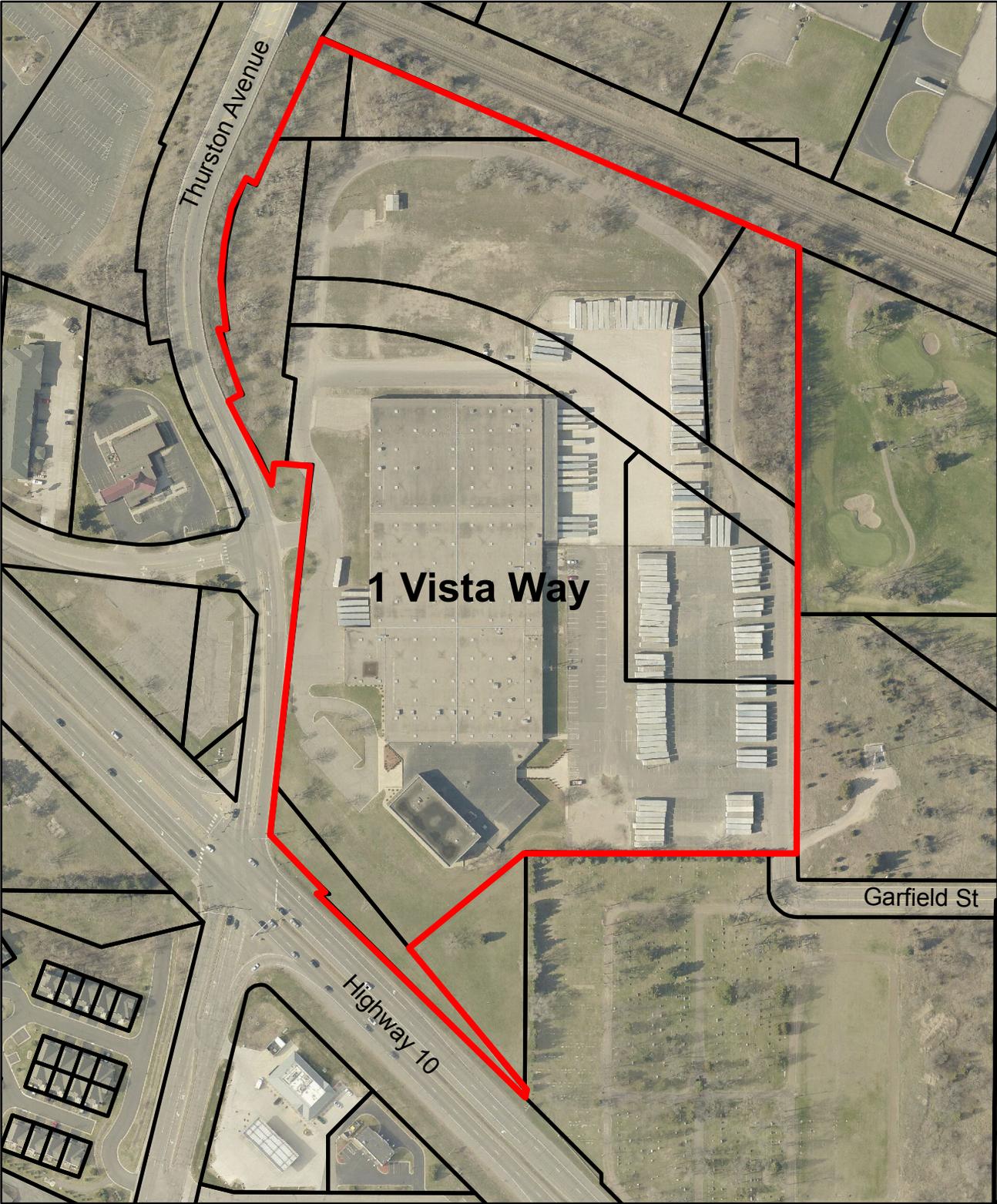
- 8) The applicant, AD Center, LLC, shall construct a stormwater pond located in Outlot A to account for the stormwater needs for the development site and Green Haven Parkway.
- 9) Any future city-owned infrastructure to be constructed in the Green Haven Parkway right-of-way must meet current city standards.
- 10) All private utilities and infrastructure, including but not limited to the existing loop road, pump house, concrete around pump house, and light poles, shall be removed from the Green Haven Parkway right-of-way and Outlot A.
- 11) The applicant, AD Center, LLC, shall submit a schedule for the use of the future drive, and if desired, the drive will need to be used temporarily to provide truck access from Thurston Avenue to the truck parking area before and during the construction of Green Haven Parkway in 2017.
- 12) All grading and site work shall be coordinated with the City of Anoka to ensure compatibility with the future construction of Green Haven Parkway in 2017.
- 13) The final design and location of the new private drive that will access Green Haven Parkway shall be reviewed and approved by the Engineering Department prior to construction.
- 14) The trailer parking area shown as Class V shall be upgraded to bituminous, concrete, or a similar surface as required by Anoka City Code, Chapter 74, Article V, Division 4, Section 74-257 (e)(4)(d).
- 15) An additional 68 parking spaces shall be identified within the overflow trailer and car parking area to meet the minimum parking requirement of 349 spaces.
- 16) Any lighting used to illuminate the off-street parking area shall be arranged as to reflect the light away from any adjacent properties, streets, or highways. Lighting shall not exceed 0.5 foot candle at nonresidential property lines measured on a vertical plane.

### **COMMISSION ACTION**

- The Commission may recommend approval of the preliminary plat and/or site plan, with any necessary conditions
- The Commission may recommend denial of the preliminary plat and/or site plan with required findings.
- The Commission may postpone the application with reason, such as the need for additional information.

Chuck Darnell  
Associate Planner

**Site Map**  
**1 Vista Way & Surrounding Outlots**  
**Preliminary Plat Application - June 7, 2016**



The logo for WISTA (Western Illinois State Teachers Association) is located on the upper left side of the building. It features a stylized blue and yellow graphic to the left of the text "WISTA" in a bold, sans-serif font, with "WESTERN ILLINOIS STATE TEACHERS ASSOCIATION" in smaller text below it.

WISTA  
WESTERN ILLINOIS STATE TEACHERS ASSOCIATION

A blue rectangular sign with white text is mounted on a black post. The text reads "NO PARKING" on the top line, "EXCEPT FOR" on the second line, and "LOADS AND UNLOADS" on the third line.

NO PARKING  
EXCEPT FOR  
LOADS AND UNLOADS

06/02/2016



06/02/2016



06/02/2016



06/02/2016

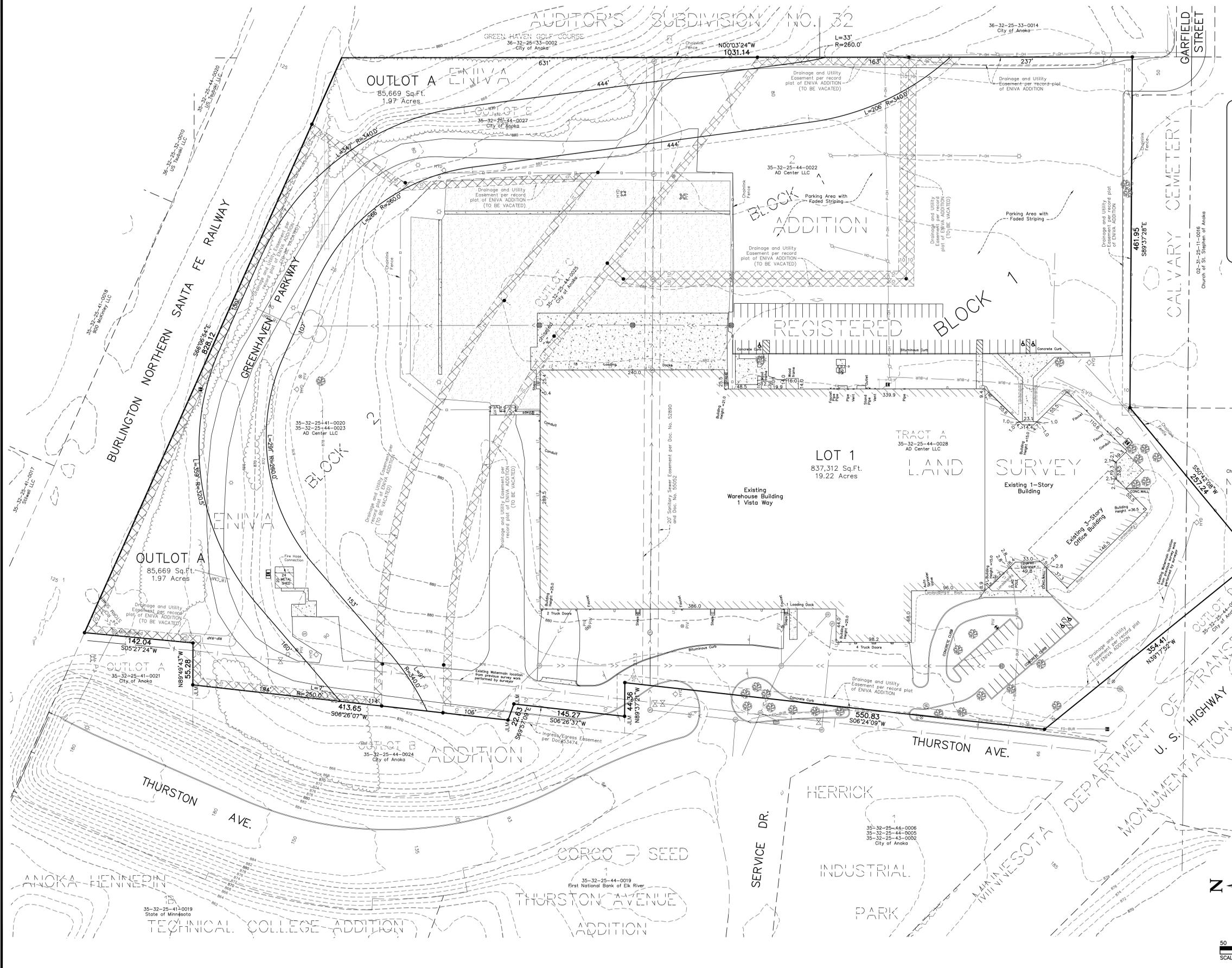


06/02/2016

Preliminary Plat of GREEN HAVEN PARKWAY ADDITION for AD Center, LLC

DESCRIPTION OF PROPERTY TO BE PLATTED:

Tract A, REGISTERED LAND SURVEY NO. 258,  
AND  
Outlots C and E, Lot 2, Block 1, and Lot 1, Block 2, ENIVA ADDITION,  
Anoka County, Minnesota.

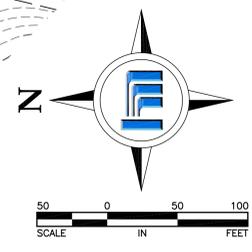


Municipality:	City of Anoka	Building Setbacks:	Front Yard - 20 Feet Side Yard - 10 Feet Rear Yard - 20 Feet
Existing Zoning:	M-2 General Industrial	Lot Summary:	Number of Lots: 1 + 1 Outlot Largest Lot: 19.222 acres Smallest Lot: 19.222 acres Average Lot Area: 837.312 sq.ft. Density: 0.052 Lots per Acre
Proposed Use:	Urban Industrial	Owner 1:	AD Center LLC C/O Duane Lund Exchange Realty 33 S. Sixth St. Suite 4315 Minneapolis, MN 55402 (612) 259-7508
Watershed District:	Lower Rum River WMO	Owner 2:	City of Anoka 2015 First Ave. N Anoka, MN 55303 Chuck Darnell (763) 576-2716
Road Mileage:	1,535 LF or 0.29 Miles	Designer/Surveyor:	Hakanson Anderson Assoc. 3601 Thurston Avenue Anoka, MN 55303 (763) 427-5860
Street Lighting:	as required	Subdivider:	Amcon Construction Co. LLC 5565 Blaine Ave., Suite 250 Inver Grove Heights, MN 55076 Dennis Cornelius (651) 379-9090
Proposed Utilities:	Sewer: Municipal (available) Water: Municipal (available)	Plot Area:	Total Area: 1,049,991 sq. ft. = 24.105 acres Proposed ROW: 127,010 sq. ft. = 2.916 acres Park Area: 0 sq. ft. = 0.000 acres

- NOTES:
- The underground utilities shown have been located from field survey information per Gopher State One Call Ticket No. 150210434 and available records. The surveyor makes no guarantee that the underground utilities shown comprise all such utilities in the area, either in service or abandoned. The surveyor further does not warrant that the underground utilities shown are in the exact location indicated although he does certify that they are located as accurately as possible from information available. The surveyor has not physically located the underground utilities. Prior to any excavation, contact Gopher State One Call for an on-site location (612-454-0002). The subsurface utility information on this survey is utility quality level D. This quality level was determined according to the guidelines of O/ASCE 38-2, entitled "Standard Guidelines for the Collection and Depiction of Existing Subsurface Utility Data."
  - This preliminary plat is prepared based on an ALTA/ACSM Land Title Survey prepared by Hakanson Anderson Associates dated 02/03/15.
  - Bearings are based on the Anoka County Coordinate System NAD83 (1996 Adjustment).
  - Proposed road right of way and easement locations were provided by Bolton & Menk Inc.
  - Site Topography depicted per MnGeo Lidar Contours (2 foot interval).

**LEGEND**

- = DENOTES FOUND IRON MONUMENT
- ⊗ = DENOTES GATE VALVE
- ⊕ = DENOTES HYDRANT
- ⊙ = DENOTES POST INDICATOR VALVE
- ⊗ = DENOTES WATERMAIN MANHOLE
- ⊙ = DENOTES SANITARY SEWER MANHOLE
- ⊗ = DENOTES STORM SEWER MANHOLE
- ⊙ = DENOTES TELEPHONE PEDESTAL
- ⊕ = DENOTES ELECTRIC TRANSFORMER
- ⊕ = DENOTES UTILITY POLE
- P-BUR- = DENOTES EXISTING BURIED ELECTRIC
- G-BUR- = DENOTES EXISTING BURIED GAS
- E-BUR- = DENOTES EXISTING BURIED ELECTRIC
- T-BUR- = DENOTES EXISTING BURIED TELEPHONE
- FO-BUR- = DENOTES EXISTING BURIED FIBER OPTIC
- = DENOTES WATER LINE
- S- = DENOTES SANITARY SEWER LINE
- SS- = DENOTES STORM SEWER LINE
- ⊙ = DENOTES BUILDING LIGHT
- ⊙ = DENOTES ROOF DRAIN
- ⊙ = DENOTES LIGHT POLE
- ⊙ = DENOTES SIGN
- ⊙ = DENOTES DECIDUOUS TREE
- ⊙ = DENOTES EXISTING CONCRETE SURFACE
- ⊙ = DENOTES EXISTING BITUMINOUS SURFACE
- ⊙ = DENOTES EXISTING BITUMINOUS SURFACE
- ⊙ = DENOTES EXISTING DRAINAGE & UTILITY EASEMENT TO BE VACATED



DATE	REVISION

I hereby certify that this plan, specification, or report was prepared by me or under my direct supervision and that I am a duly Licensed Professional Land Surveyor under the laws of the State of Minnesota.

*Charles R. Christopherson*  
 CHARLES R. CHRISTOPHERSON, LS  
 Date 06/01/16 Lic. No. 18420

DESIGNED BY: CRC  
 DRAWN BY: SMM  
 CHECKED BY: CRC

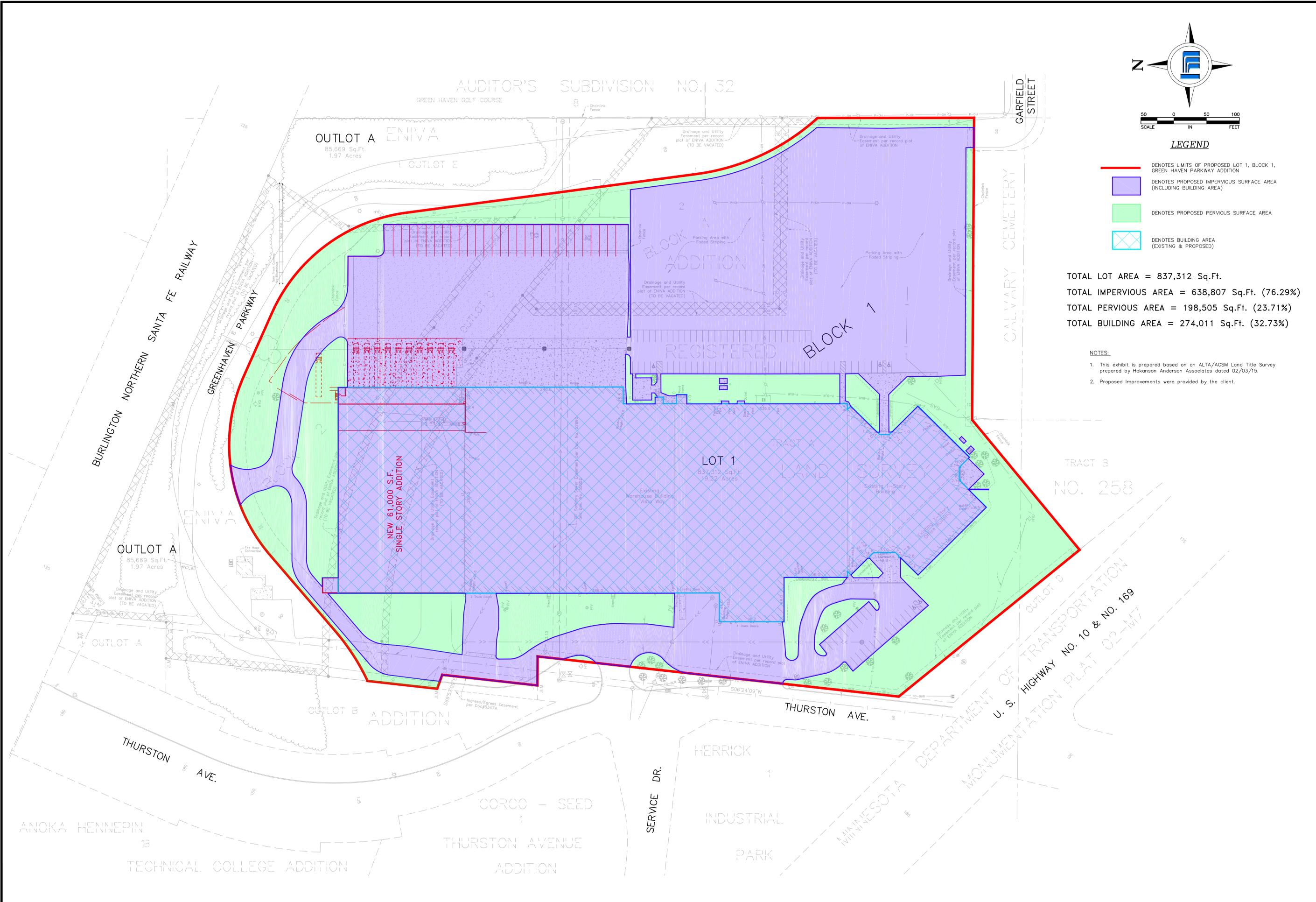
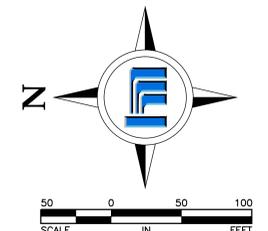
**Hakanson Anderson**  
 Civil Engineers and Land Surveyors  
 3601 Thurston Ave., Anoka, Minnesota 55303  
 763-427-5860 FAX 763-427-0520  
 www.haa-inc.com

GREEN HAVEN PARKWAY  
 ADDITION

PRELIMINARY PLAT  
 CITY OF ANOKA  
 ANOKA COUNTY, MINNESOTA

SHEET  
 1 OF 1  
 SHEETS





**LEGEND**

- DENOTES LIMITS OF PROPOSED LOT 1, BLOCK 1, GREEN HAVEN PARKWAY ADDITION
- DENOTES PROPOSED IMPERVIOUS SURFACE AREA (INCLUDING BUILDING AREA)
- DENOTES PROPOSED PERVIOUS SURFACE AREA
- DENOTES BUILDING AREA (EXISTING & PROPOSED)

TOTAL LOT AREA = 837,312 Sq.Ft.  
 TOTAL IMPERVIOUS AREA = 638,807 Sq.Ft. (76.29%)  
 TOTAL PERVIOUS AREA = 198,505 Sq.Ft. (23.71%)  
 TOTAL BUILDING AREA = 274,011 Sq.Ft. (32.73%)

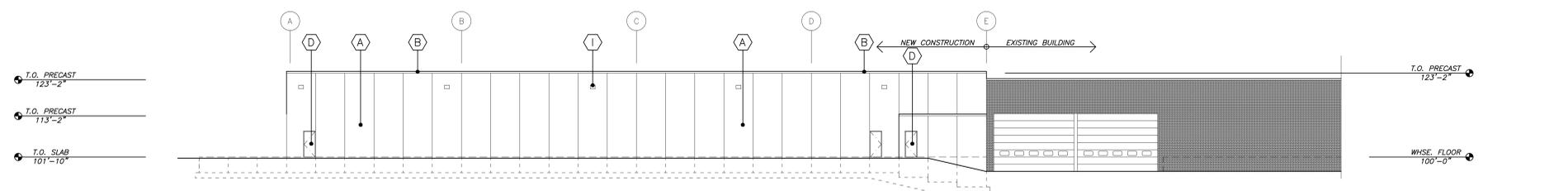
**NOTES:**

1. This exhibit is prepared based on an ALTA/ACSM Land Title Survey prepared by Hakanson Anderson Associates dated 02/03/15.
2. Proposed Improvements were provided by the client.

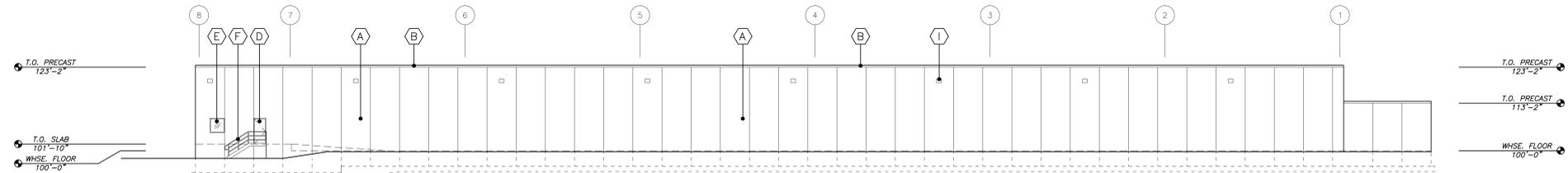
<b>DATE</b>	<b>REVISION</b>	<b>DESIGNED BY:</b> CRC		<b>Hakanson Anderson</b> Civil Engineers and Land Surveyors 3601 Thurston Ave., Anoka, Minnesota 55303 763-427-5860 FAX 763-427-0520 www.haa-inc.com	<b>PROPOSED LOT 1, BLOCK 1, GREEN HAVEN PARKWAY ADDITION</b>	<b>IMPERVIOUS SURFACE EXHIBIT</b>  CITY OF ANOKA ANOKA COUNTY, MINNESOTA	SHEET 1 OF 1 SHEETS
		<b>DRAWN BY:</b> SMM					
		<b>CHECKED BY:</b> CRC					



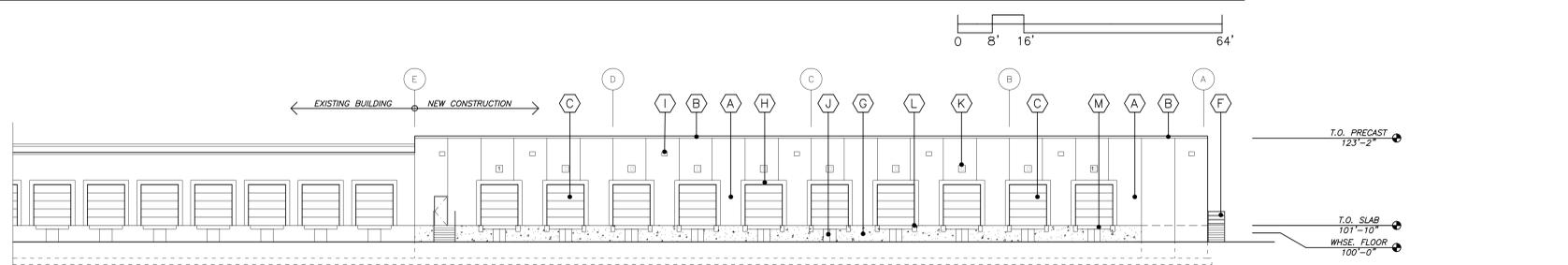
- KEY NOTES**
- A. INSULATED PRECAST WALL PANEL  
 FINISH: RAKED  
 AGGREGATE: ----
  - B. PREFINISHED METAL COPING  
 COLOR: MATCH EXISTING
  - C. INSULATED SECTIONAL OVERHEAD DOOR  
 FINISH: PREFINISHED  
 COLOR: MATCH EXISTING
  - D. HOLLOW METAL DOOR  
 FINISH: PAINT  
 COLOR: ----
  - E. ALUMINUM FRAMED WINDOW  
 FINISH: ANODIZED  
 COLOR: ----
  - F. METAL DOCK STAIR  
 FINISH: PAINTED  
 COLOR: ----
  - G. POURED CONCRETE WALL  
 FINISH: PAINTED  
 COLOR: ----
  - H. DOCK SEALS  
 FINISH: FACTORY
  - I. WALL MOUNTED LUMINAIRE  
 FINISH: MATCH EXISTING
  - J. TRUCK RESTRAINT SYSTEM - MATCH EXISTING
  - K. METAL DOCK NUMBER SIGNS - MATCH EXISTING
  - L. DOCK BUMPERS - MATCH EXISTING
  - M. DOCK LEVELER - MATCH EXISTING



**WEST ELEVATION**



**NORTH ELEVATION**



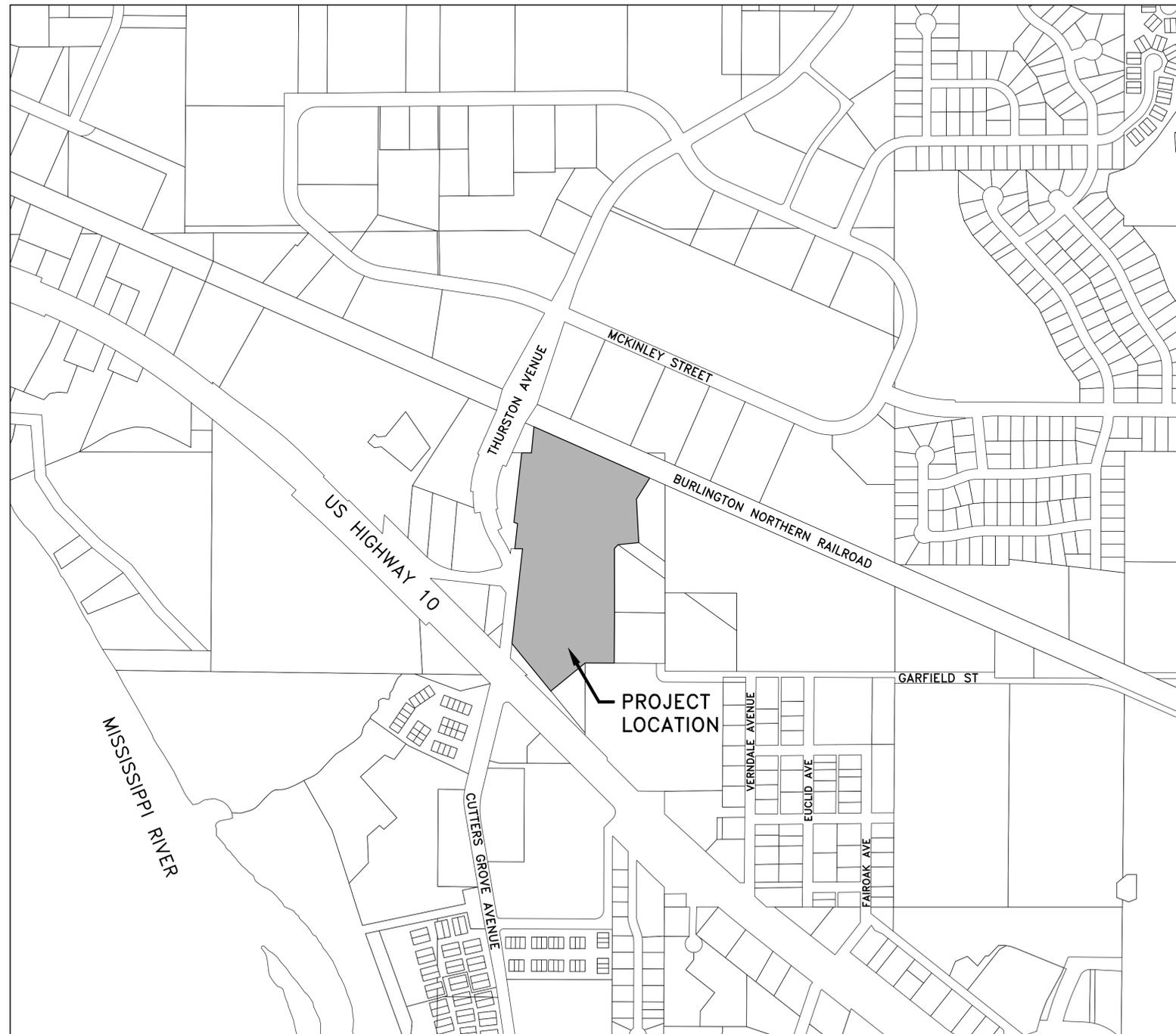
**EAST ELEVATION**

- PRELIMINARY/NOT FOR CONSTRUCTION
- PERMIT/BID SET
- CONSTRUCTION SET
- AS-BUILT SET
- NOT TO SCALE

# GREEN HAVEN PARKWAY SITE IMPROVEMENTS

## CONSTRUCTION PLANS FOR SITE GRADING AND PARKING LOT AND MISCELLANEOUS CONSTRUCTION

### CITY OF ANOKA

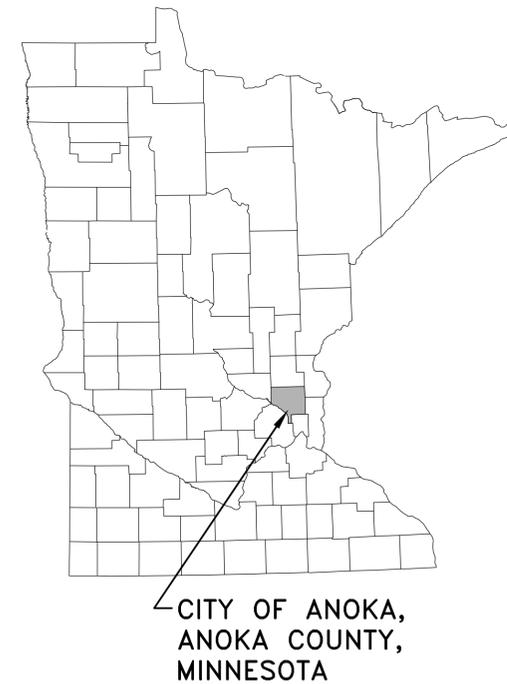


#### CONTRACTOR

DENNIS CORNELIUS  
 AMCON CONSTRUCTION COMPANY  
 5565 BLAINE AVENUE, SUITE 250  
 INVER GROVE HEIGHTS, MN 55076  
 651-379-9008  
 Email: dcorne1@amconconstruction.com

#### ENGINEER/SURVEYOR

HAKANSON ANDERSON  
 3601 THURSTON AVE.  
 ANOKA, MN 55303  
 CRAIG J. JOCHUM, P.E.  
 CHARLES R. CHRISTOPHERSON, P.L.S.  
 763-427-5860  
 Email: CraigJ@haa-inc.com



#### GOVERNING SPECIFICATIONS

THE 2014 EDITION OF THE MINNESOTA DEPARTMENT OF TRANSPORTATION "STANDARD SPECIFICATIONS FOR CONSTRUCTION" AND "MATERIALS LAB SUPPLEMENTAL SPECIFICATIONS FOR CONSTRUCTION" SHALL GOVERN FOR SITE WORK.

THE 2013 EDITION OF THE CITY ENGINEERS ASSOCIATION OF MINNESOTA "STANDARD SPECIFICATIONS" SHALL GOVERN FOR UTILITY WORK.

ALL FEDERAL, STATE AND LOCAL LAWS, REGULATIONS, AND ORDINANCES SHALL BE COMPLIED WITH IN THE CONSTRUCTION OF THIS PROJECT.

ALL TRAFFIC CONTROL DEVICES AND SIGNING SHALL CONFORM TO THE LATEST EDITION OF THE MINNESOTA MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES, INCLUDING THE LATEST FIELD MANUAL FOR TEMPORARY TRAFFIC CONTROL ZONE LAYOUTS.

#### SHEET INDEX

THIS PLAN CONTAINS 8 SHEETS

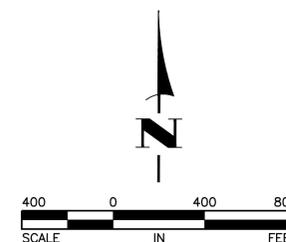
SHEET NO.	DESCRIPTION
1	TITLE SHEET
2	CONSTRUCTION NOTES, TYPICAL SECTIONS, AND PROJECT LEGEND
3	DETAILS AND EROSION AND SEDIMENT CONTROL NOTES
4	DETAILS
5	EXISTING TOPOGRAPHY & REMOVAL PLAN
6	GRADING, DRAINAGE AND EROSION CONTROL PLAN
7	UTILITY AND PAVING PLAN
L1	LANDSCAPE PLAN

Jun. 03, 2016 9:09am K:\oad\_eng\PROJECTS\PRIVATE\2575.19\ENGINEERING\2575.19 TITLE.dwg



**Hakanson  
Anderson**  
 Civil Engineers and Land Surveyors  
 3601 Thurston Ave., Anoka, Minnesota 55303  
 763-427-5860 FAX 763-427-0520

THE SUBSURFACE UTILITY INFORMATION IN THIS PLAN IS UTILITY QUALITY LEVEL D. THIS QUALITY LEVEL WAS DETERMINED ACCORDING TO THE GUIDELINES OF CI/ASCE 38-02, ENTITLED "STANDARD GUIDELINES FOR THE COLLECTION AND DEPICTION OF EXISTING SUBSURFACE UTILITY DATA."



I hereby certify that this plan, specification, or report was prepared by me or under my direct supervision and that I am a duly Licensed Professional Engineer under the laws of the State of Minnesota.

*Craig J. Jochum* 23461 DATE 6/1/16  
 CRAIG J. JOCHUM, P.E. LIC. NO.  
 HAKANSON ANDERSON  
 DESIGN ENGINEER

DATE	REVISION
6/2/16	ADDED REMOVALS AND LANDSCAPE PLAN

SHEET 1 OF 7 SHEETS

2575.19

GENERAL CONSTRUCTION AND SOILS NOTES:

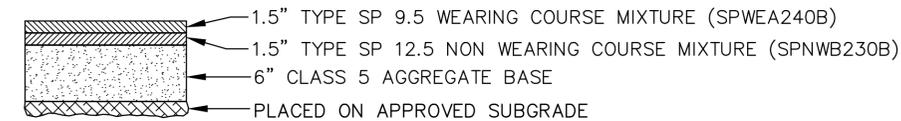
1. STRIP ALL INPLACE TOPSOIL IN AREAS TO BE DISTURBED BY CONSTRUCTION AND REUSE AS SLOPE DRESSING. IN AREAS OF PARKING LOT, SIDEWALK AND BUILDING CONSTRUCTION, THE EXPOSED SAND SHALL BE SURFACE COMPACTED TO AT LEAST 100% OF THE STANDARD PROCTOR MAXIMUM DRY DENSITY, ASTM D698, IN AT LEAST THE UPPER 3 FEET.
2. UNLESS OTHERWISE RECOMMENDED IN THESE PLANS, THE GRADING SUBGRADE SHALL BE CONSTRUCTED OF SUITABLE GRADING MATERIAL. THE FILL SHALL BE PLACED IN 8" TO 10" LOOSE LIFTS, AND COMPACTED TO 100% OF THE STANDARD PROCTOR MAXIMUM DRY DENSITY.
3. SUITABLE GRADING MATERIAL FOR THIS PROJECT SHALL CONSIST OF ALL SOILS ENCOUNTERED WITH THE EXCEPTION OF TOPSOIL, SILT, DEBRIS, ORGANIC MATERIAL AND OTHER UNSTABLE MATERIAL.
4. WHEN PLACING NEW PAVEMENT ADJACENT TO INPLACE PAVEMENT CUT VERTICALLY TO THE BOTTOM OF INPLACE SURFACING OR TOP OF GRADING SUBGRADE, WHICHEVER IS DEEPER, AT A 1(V):2(H) TO THE BOTTOM OF EXCAVATION.
5. PROVIDE A SAW CUT WHEN PLACING NEW PAVEMENT ADJACENT TO INPLACE PAVEMENT AND AT TERMINI OF CONSTRUCTION TO ENSURE A UNIFORM JOINT.
6. BITUMINOUS AND CONCRETE ITEMS DISTURBED BY CONSTRUCTION SHALL BECOME THE PROPERTY OF THE CONTRACTOR AND SHALL BE DISPOSED OF IN ACCORDANCE WITH Mn/DOT SPEC. 2104.3.
7. USE TACK COAT BETWEEN ALL BITUMINOUS MIXTURES. THE BITUMINOUS TACK COAT MATERIAL SHALL BE APPLIED AT A UNIFORM RATE OF 0.04 GAL/SY TO 0.06 GAL/SY BETWEEN BITUMINOUS LAYERS. THE APPLICATION RATES ARE FOR UNDILUTED EMULSIONS (AS SUPPLIED FROM THE REFINERY) OR MC AND RC LIQUID ASPHALTS. THE ASPHALT EMULSION MAY BE FURTHER DILUTED IN THE FIELD IN ACCORDANCE WITH SPEC. 2357.
8. PERFORMANCE GRADED (PG) ASPHALT BINDER PG 58-28, SPEC. 3151 MODIFIED, SHALL BE USED FOR ALL BITUMINOUS MIXES ON THIS PROJECT. SPEC. 3151 MODIFIED IS INCLUDED IN TECHNICAL MEMORANDUM NO. 02-06-MRR-01. SPECIFIC PG GRADES SHALL BE STATED IN THE SPECIAL PROVISIONS AND AT THE END OF THE MIX DESIGNATION NUMBER SHOWN ON THE TYPICAL SECTION.
9. THE BITUMINOUS MIXTURES SHALL MEET THE REQUIREMENTS OF SPECIFICATIONS 2360 AND 3139.

LEGEND

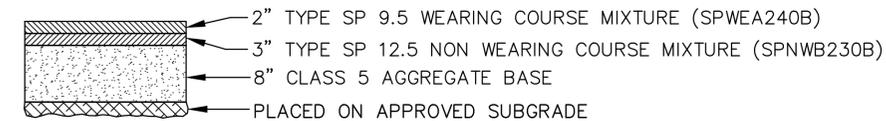
- 906 --- EXISTING CONTOUR
- ===== PROPERTY LINE
- RIGHT-OF-WAY LINE
- GAS LINE EASEMENT
- W ----- DELINEATED WETLAND
- DRAINAGE AND UTILITY EASEMENT
- TEMPORARY CUL-DE-SAC EASEMENT
- G --- UNDERGROUND GAS LINE
- ===== EXISTING CONCRETE CURB & GUTTER
- >>--->>--- EXISTING STORM SEWER
- >--->--- EXISTING SANITARY SEWER
- |---|--- EXISTING WATERMAIN
- ⊗ EXISTING WATER VALVE
- ⊞ EXISTING CATCH BASIN
- ⊙ EXISTING STORM SEWER MANHOLE
- ⊙ EXISTING SANITARY SEWER MANHOLE
- ⊙ EXISTING HYDRANT
- 906 --- PROPOSED CONTOUR
- >>--->>--- PROPOSED STORM SEWER
- >--->--- PROPOSED SANITARY SEWER
- |---|--- PROPOSED WATERMAIN
- ⊞ PROPOSED CATCH BASIN
- ⊙ PROPOSED SANITARY SEWER MANHOLE
- ⊙ PROPOSED STORM SEWER MANHOLE
- ⊙ PROPOSED HYDRANT
- ⊗ PROPOSED WATER VALVE
- ===== PROPOSED CONCRETE CURB & GUTTER
- SILT FENCE PER (2/3)
- ⊙ INLET PROTECTION
- ⇒ DRAINAGE ARROW
- (2/3) DETAIL NUMBER
- (2/3) SHEET NUMBER

STANDARD PLATES	
THESE STANDARD PLATES AS APPROVED BY THE FHWA SHALL APPLY	
PLATE NO.	DESCRIPTION
3000L	REINFORCED CONCRETE PIPE (5 SHEETS)
3006G	GASKET JOINT FOR R.C. PIPE (2 SHEETS)
3007D	SHEAR REINFORCEMENT FOR PRECAST DRAINAGE STRUCTURES
3145F	CONCRETE PIPE TIES
4010H	CONCRETE SHORT CONE AND ADJUSTING RING (SECTIONAL CONCRETE)
4011E	PRECAST CONCRETE BASE
4020J	MANHOLE OR CATCH BASIN COVER (FOR USE WITH OR WITHOUT TRAFFIC LOADS) (2 SHEETS)
4024A	48" DIA. PRECAST SHALLOW DEPTH CATCH BASIN - DESIGN SD
4026A	CONCRETE ENCASED CONCRETE ADJUSTING RINGS
4101D	RING CASTING FOR MANHOLE OR CATCH BASIN
4110F	COVER CASTING FOR MANHOLE (FOR USE IN ALL TRAFFIC AREAS) CASTING NO. 715 AND 716
4180J	MANHOLE OR CATCH BASIN STEP
7100H	CONCRETE CURB AND GUTTER (DESIGN B AND DESIGN V)
7111J	INSTALLATION OF CATCH BASIN CASTINGS (CONCRETE CURB & GUTTER)

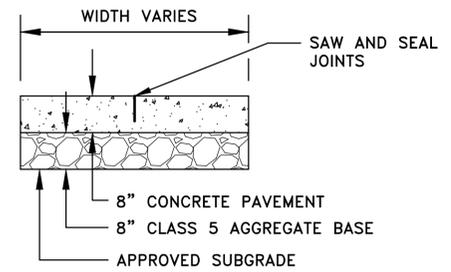
BASIS OF ESTIMATED QUANTITIES	
AGGREGATE BASE CLASS 5	100 LBS/SY/IN
NON WEARING COURSE BITUMINOUS MIXTURE	110 LBS/SY/IN
WEARING COURSE BITUMINOUS MIXTURE	110 LBS/SY/IN
BITUMINOUS MATERIAL FOR TACK COAT	0.06 GAL/SY
TYPE 1 COMMERCIAL FERTILIZER	300 LBS/ACRE
MNDOT SEED MIXTURE 25-131	220 LBS/ACRE
TYPE 1 MULCH	2 TON/ACRE



1 LIGHT DUTY PARKING LOT SECTION  
NO SCALE



2 HEAVY DUTY PARKING LOT SECTION  
NO SCALE



3 CONCRETE PAVEMENT SECTION  
N.T.S.

Jun 03, 2016 - 9:10am K:\acad\eng\PROJECTS\PRIVATE\2575.19\ENGINEERING\2575.19 DETAILS.dwg

DATE	REVISION
6/2/16	ADDED REMOVALS AND LANDSCAPE PLAN

I hereby certify that this plan, specification, or report was prepared by me or under my direct supervision and that I am a duly Licensed Professional Engineer under the laws of the State of Minnesota.

*Eric J. Ochum*  
Eric J. OCHUM, PE  
Date 6/1/16 Lic. No. 23461

DESIGNED BY: CJJ  
DRAWN BY: AMT  
CHECKED BY: CJJ

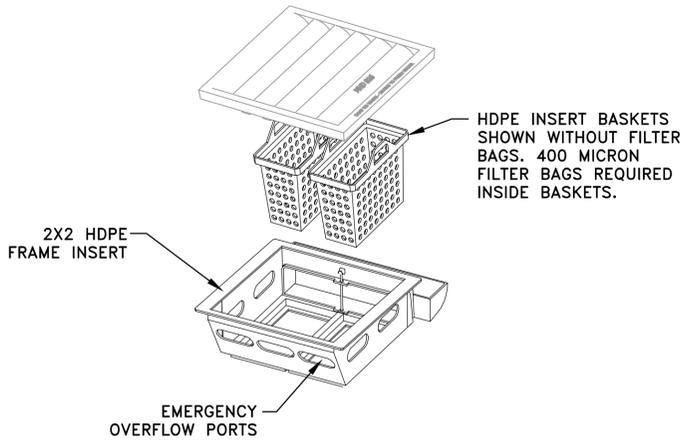


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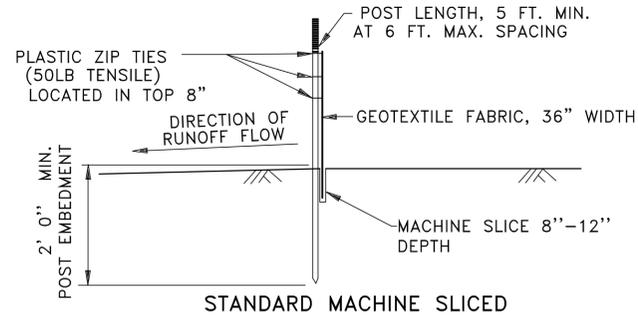
GREEN HAVEN PARKWAY  
SITE IMPROVEMENTS

CONSTRUCTION NOTES, TYPICAL SECTIONS,  
AND PROJECT LEGEND  
CITY OF ANOKA, MINNESOTA

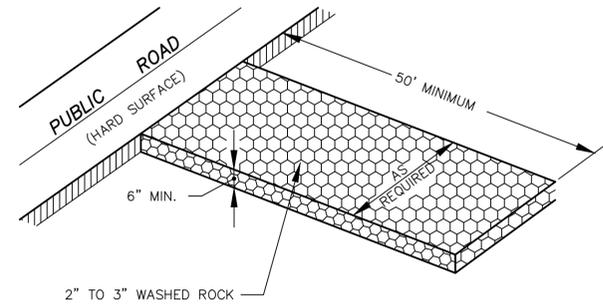
SHEET 2 OF 7  
SHEETS



1 STORM DRAIN INLET PROTECTION  
3 POST-CURB



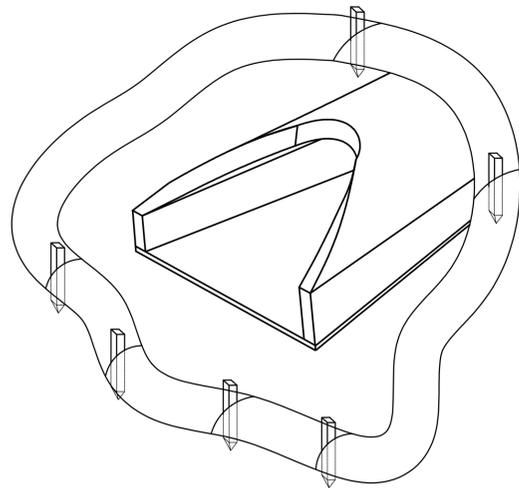
2 SILT FENCE DETAILS ①  
3 TO PROTECT AREAS FROM SHEET FLOW (SEE SPEC. 3886)



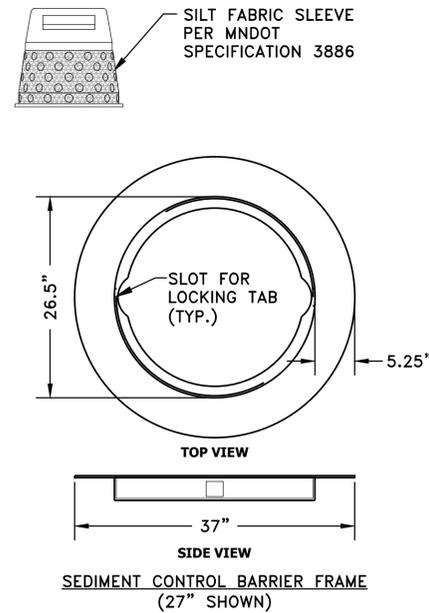
3 ROCK CONSTRUCTION ENTRANCE DETAIL  
3

GENERAL EROSION CONTROL NOTES:

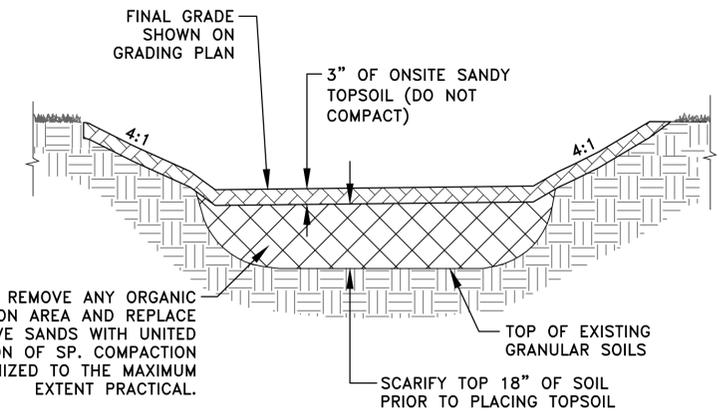
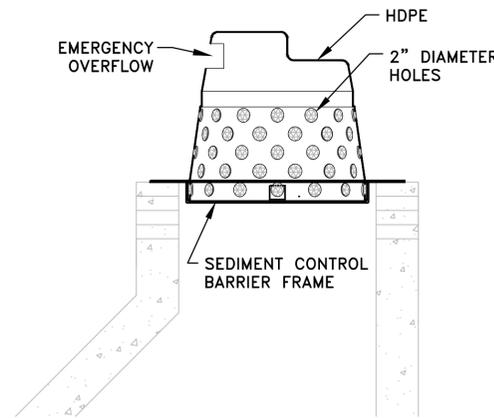
1. PRIOR TO ANY CONSTRUCTION ACTIVITIES THE CONTRACTOR SHALL ACQUIRE THE NECESSARY MPCA-NPDES STORMWATER PERMIT. A STORM WATER POLLUTION PREVENTION PLAN (SWPPP) HAS BEEN PREPARED COVERING CONSTRUCTION ACTIVITIES. A COPY OF THE "STORMWATER MANAGEMENT AND POLLUTION PREVENTION PLAN" FOR GREEN HAVEN PARKWAY SITE IMPROVEMENTS, DATED JUNE 1, 2016 PREPARED BY HAKANSON ANDERSON IS AVAILABLE FROM THE OWNER.
2. THE CONTRACTOR SHALL INSTALL EROSION AND SEDIMENT CONTROL FACILITIES (BMP'S) PRIOR TO GRADING AND REMOVAL ACTIVITIES. BMP'S SHALL BE MAINTAINED FOR THE DURATION OF CONSTRUCTION ACTIVITIES AND POTENTIAL FOR EROSION HAS PASSED.
3. THE CONTRACTOR SHALL SCHEDULE HIS OPERATION TO MINIMIZE THE AMOUNT OF DISTURBED AREA AT ANY GIVEN TIME.
4. BMP'S SHALL BE INSPECTED DAILY BY THE CONTRACTOR AND DOCUMENTED IN THE SWPPP INSPECTION LOG. WEEKLY LOGS MUST BE FORWARDED TO THE ENGINEER FOR REVIEW.
5. ALL EROSION AND SEDIMENT CONTROL MEASURES SHALL BE PROPERLY DISPOSED OF WITHIN THIRTY (30) DAYS AFTER FINAL SITE STABILIZATION IS APPROVED BY THE ENGINEER.
6. THE CONTRACTOR SHALL FILE NOTICE OF TERMINATION (NOT) WITH THE MPCA WHEN FINAL STABILIZATION IS APPROVED BY THE ENGINEER.
7. CONTRACTOR SHALL PROMPTLY SWEEP EXISTING STREETS WHEN ANY SEDIMENT TRACKING OCCURS.
8. THE CONTRACTOR SHALL MEET ALL REQUIREMENTS OF THE GENERAL PERMIT, WHICH IS INCLUDED AS APPENDIX C OF THE SWPPP.
9. PRIOR TO THE START OF ANY CONSTRUCTION, THE CONTRACTOR SHALL PROVIDE CERTIFICATION DOCUMENTATION FOR THE EROSION CONTROL SUPERVISOR AND INSTALLERS TO THE ENGINEER.
10. THE CONTRACTOR IS RESPONSIBLE FOR ALL INSPECTIONS AND MAINTENANCE AS OUTLINED IN PART IV.E INSPECTIONS AND MAINTENANCE OF THE GENERAL PERMIT, WHICH IS INCLUDED AS APPENDIX C OF THE SWPPP.
11. CONTRACTOR SHALL STABILIZE ALL EXPOSED SOIL AREAS IMMEDIATELY TO LIMIT SOIL EROSION BUT IN NO CASE COMPLETED LATER THAN 7 DAYS AFTER THE CONSTRUCTION ACTIVITIES IN THAT PORTION OF THE SITE HAS TEMPORARILY OR PERMANENTLY CEASED. DEPENDING ON THE CONTRACTOR'S OPERATION, TEMPORARY SEEDING AND MULCHING MAY BE REQUIRED TO MEET THE REQUIREMENTS OF THE SPECIFICATIONS AND SWPPP.



4 BIOROLL END SECTION SEDIMENT PROTECTION  
3



5 SEDIMENT CONTROL BARRIER FOR MANHOLES  
3



CONTRACTOR SHALL REMOVE ANY ORGANIC SOIL IN INFILTRATION AREA AND REPLACE WITH SIMILAR NATIVE SANDS WITH UNITED SOIL CLASSIFICATION OF SP. COMPACTION SHALL BE MINIMIZED TO THE MAXIMUM EXTENT PRACTICAL.

6 INFILTRATION BASIN  
3 NO SCALE

Jun 03, 2016 - 9:10am  
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DATE	REVISION
6/2/16	ADDED REMOVALS AND LANDSCAPE PLAN

I hereby certify that this plan, specification, or report was prepared by me or under my direct supervision and that I am a duly Licensed Professional Engineer under the laws of the State of Minnesota.

*Eric J. Ochum*  
ERIC J. OCHUM, PE  
Date 6/1/16 Lic. No. 23461

DESIGNED BY: CJJ  
DRAWN BY: AMT  
CHECKED BY: CJJ

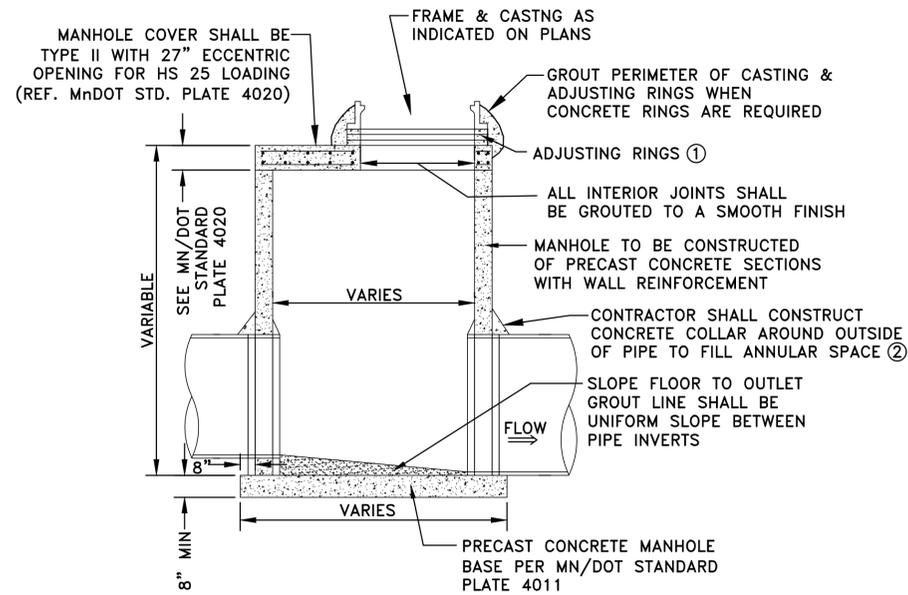


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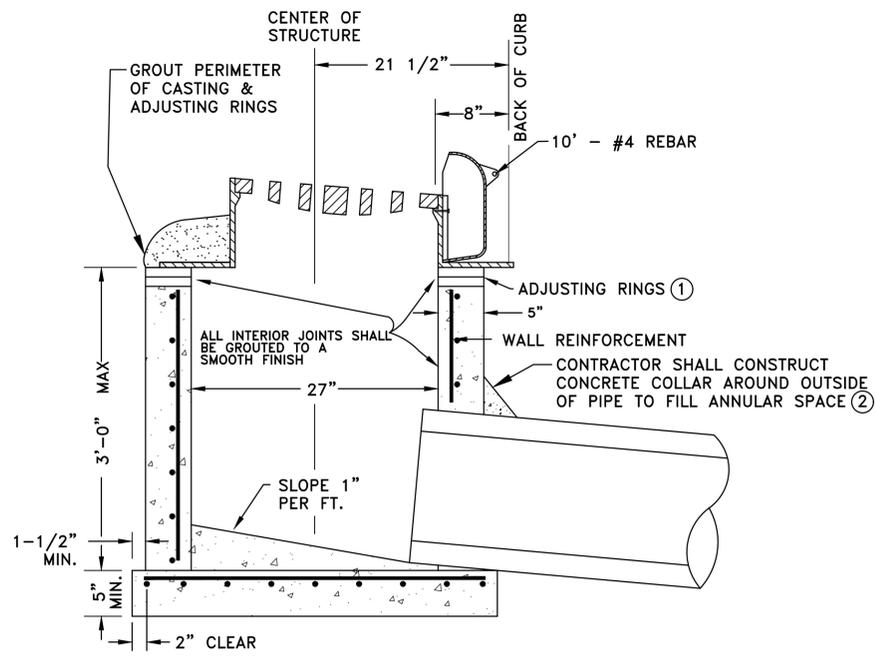
GREEN HAVEN PARKWAY  
SITE IMPROVEMENTS

DETAILS AND EROSION AND  
SEDIMENT CONTROL NOTES  
CITY OF ANOKA, MINNESOTA

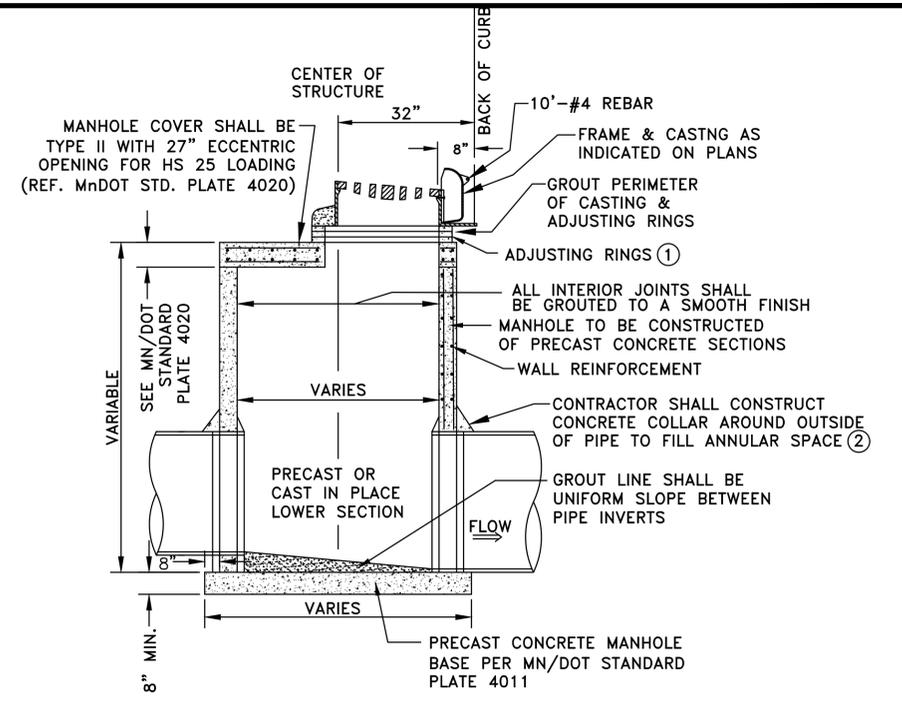
SHEET 3 OF 7 SHEETS



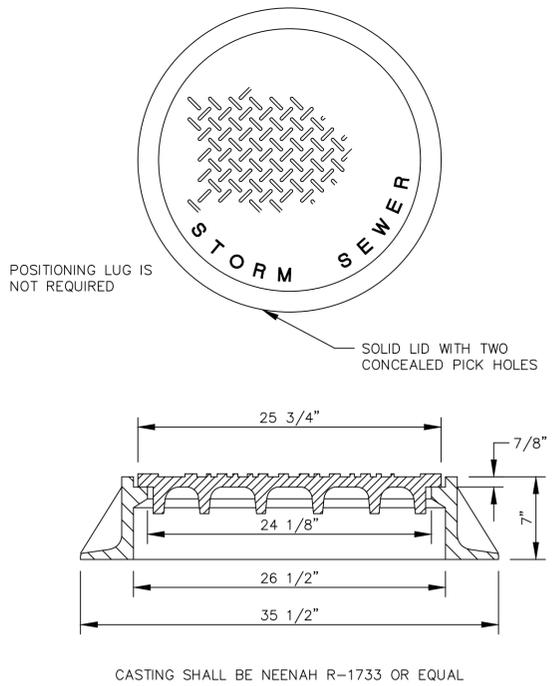
**1** STANDARD SLAB-TOP MANHOLE  
(STORM SEWER)  
NO SCALE



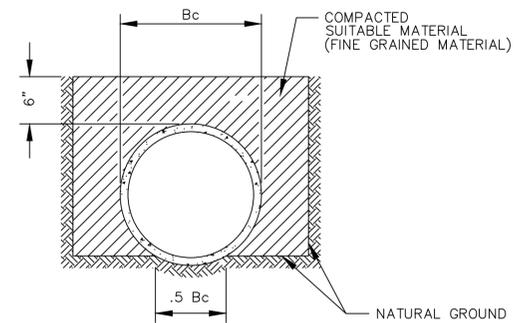
**2** STANDARD CATCH BASIN  
(REF. Mn/DOT STANDARD PLATE 4006 DESIGN H)  
NO SCALE



**3** STANDARD CATCH BASIN MANHOLE  
NO SCALE



**4** STORM MANHOLE CASTING DETAIL



THE BOTTOM OF THE TRENCH SHALL BE SHAPED TO FIT THE PIPE BARREL FOR AT LEAST 50% OF THE OUTSIDE DIAMETER. THE REMAINDER OF THE PIPE IS SURROUNDED TO A HEIGHT OF AT LEAST 6" ABOVE ITS TOP BY SELECT FILL MATERIALS, PLACED BY HAND TOOLS AND COMPACTED TO COMPLETELY FILL ALL SPACES UNDER AND ADJACENT TO THE PIPE.

**5** CLASS C PIPE BEDDING DETAIL

REFERENCE NOTES:  
 ① HIGH DENSITY POLYETHYLENE ADJUSTMENT RINGS SHALL BE USED FOR ALL SANITARY SEWER MANHOLES AND STORM SEWER MANHOLES WITH SOLID LIDS (NON-INLET TYPE). ALL INLET TYPE STORM SEWER CASTINGS SHALL USE CONCRETE ADJUSTMENT RINGS. THE CONTRACTOR SHALL USE STANDARD AVAILABLE RING THICKNESSES THAT MINIMIZE THE NUMBER OF RINGS REQUIRED. A MAXIMUM OF 3 RINGS SHALL BE USED FOR ADJUSTMENT. THE MINIMUM ADJUSTMENT HEIGHT SHALL BE 4 INCHES AND THE MAXIMUM ADJUSTMENT HEIGHT SHALL BE 8 INCHES.

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DATE	REVISION
6/2/16	ADDED REMOVALS AND LANDSCAPE PLAN

I hereby certify that this plan, specification, or report was prepared by me or under my direct supervision and that I am a duly Licensed Professional Engineer under the laws of the State of Minnesota.  
 Date 6/1/16  
 Lic. No. 23461

DESIGNED BY: CJJ  
 DRAWN BY: AMT  
 CHECKED BY: CJJ

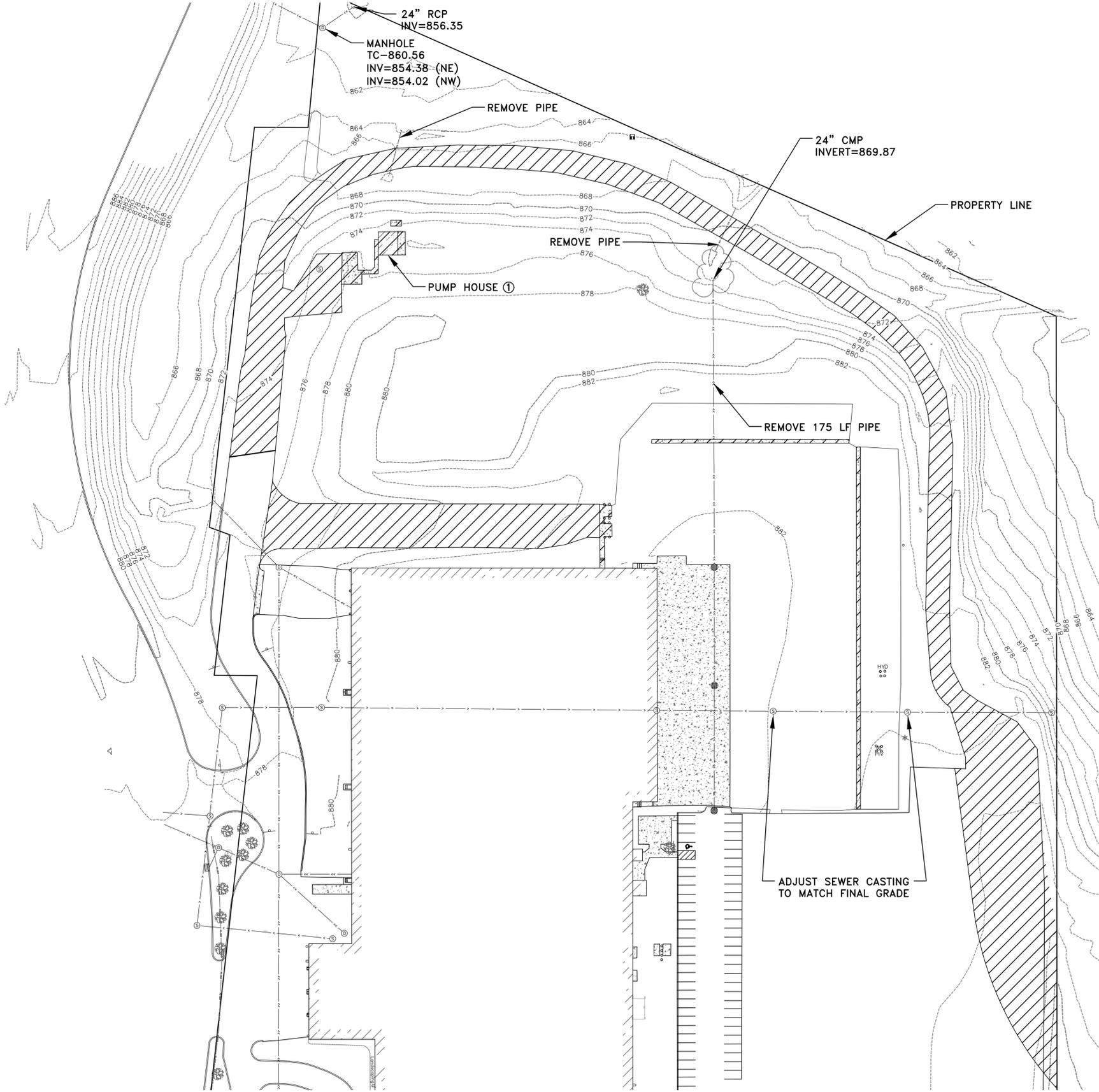
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 763-427-5860 FAX 763-427-0520  
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GREEN HAVEN PARKWAY  
 SITE IMPROVEMENTS

DETAILS  
 CITY OF ANOKA, MINNESOTA

SHEET 4 OF 7 SHEETS

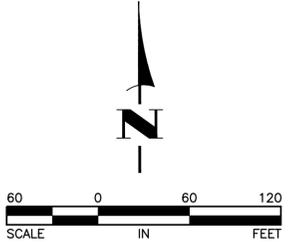
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REFERENCE NOTES:  
 ① PUMP HOUSE SHALL BE REMOVED AFTER NEW PUMP HOUSE IS OPERATIONAL.

GENERAL NOTES:  
 1. REMOVALS SHALL BE COORDINATED WITH SERVICE ROAD CONSTRUCTION TO PROVIDE ACCESS TO THE SITE.  
 2. CONTRACTOR SHALL CLEAR AND GRUB ALL TREES AND BRUSH AS REQUIRED FOR GRADING.

LEGEND  
 REMOVAL ITEMS



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DRAWN BY:  
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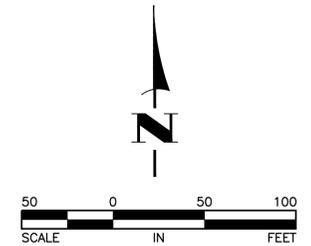
CHECKED BY:  
CJJ

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**GREEN HAVEN PARKWAY  
 SITE IMPROVEMENTS**

**EXISTING TOPOGRAPHY AND  
 REMOVALS PLAN**  
 CITY OF ANOKA, MINNESOTA

SHEET  
 5  
 OF  
 7  
 SHEETS



REFERENCE NOTES:

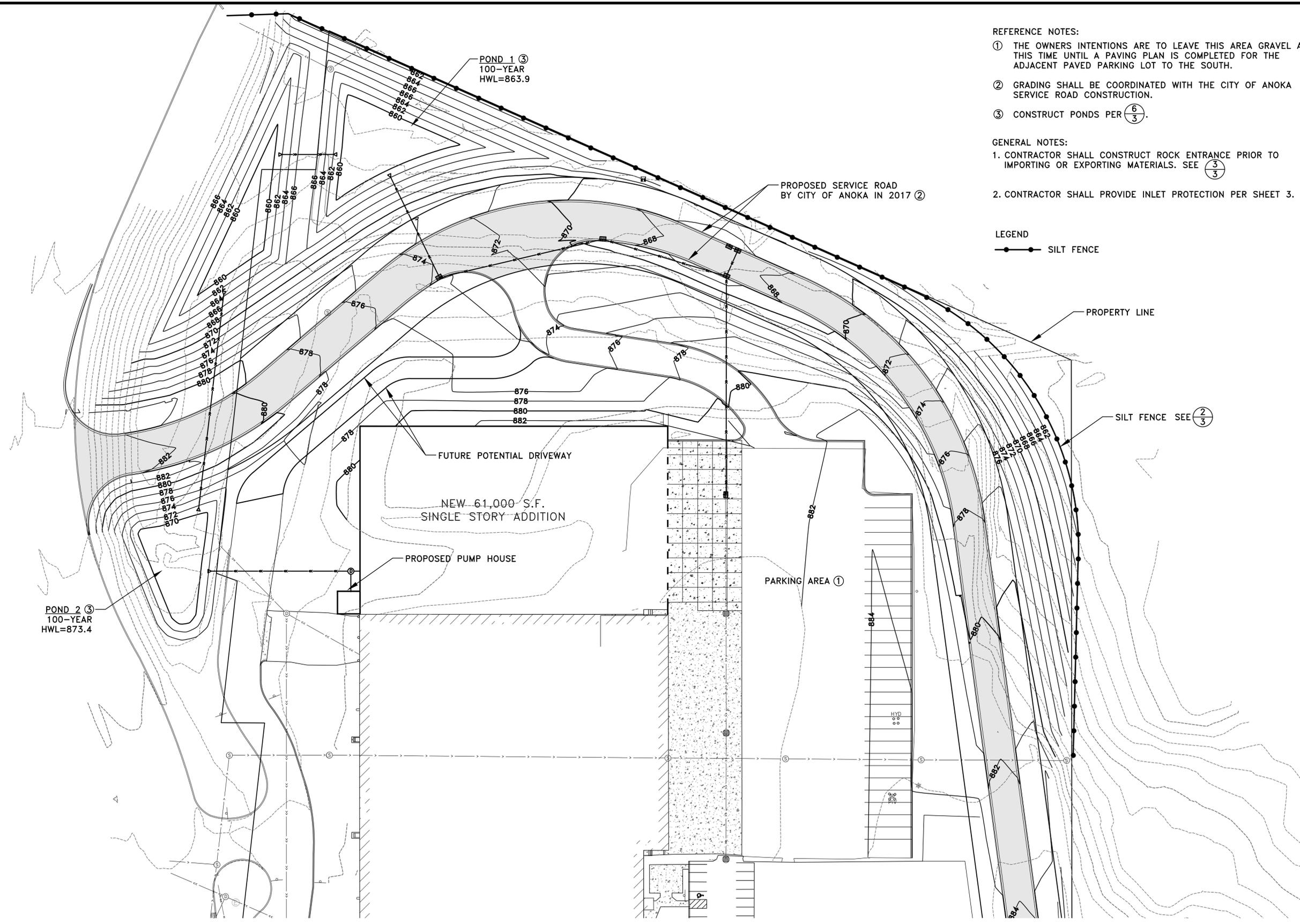
- ① THE OWNERS INTENTIONS ARE TO LEAVE THIS AREA GRAVEL AT THIS TIME UNTIL A PAVING PLAN IS COMPLETED FOR THE ADJACENT PAVED PARKING LOT TO THE SOUTH.
- ② GRADING SHALL BE COORDINATED WITH THE CITY OF ANOKA SERVICE ROAD CONSTRUCTION.
- ③ CONSTRUCT PONDS PER  $\frac{6}{3}$ .

GENERAL NOTES:

- 1. CONTRACTOR SHALL CONSTRUCT ROCK ENTRANCE PRIOR TO IMPORTING OR EXPORTING MATERIALS. SEE  $\frac{3}{3}$
- 2. CONTRACTOR SHALL PROVIDE INLET PROTECTION PER SHEET 3.

LEGEND

—●— SILT FENCE



POND 2 ③  
100-YEAR  
HWL=873.4

POND 1 ③  
100-YEAR  
HWL=863.9

FUTURE POTENTIAL DRIVEWAY  
NEW 61,000 S.F.  
SINGLE STORY ADDITION

PROPOSED PUMP HOUSE

PARKING AREA ①

PROPERTY LINE

SILT FENCE SEE  $\frac{2}{3}$

Jun 03, 2016 - 9:15am  
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*Eric J. Ochum*  
Eric J. OCHUM, PE  
Date 6/1/16 Lic. No. 23461

DESIGNED BY:  
CJJ  
DRAWN BY:  
AMT  
CHECKED BY:  
CJJ

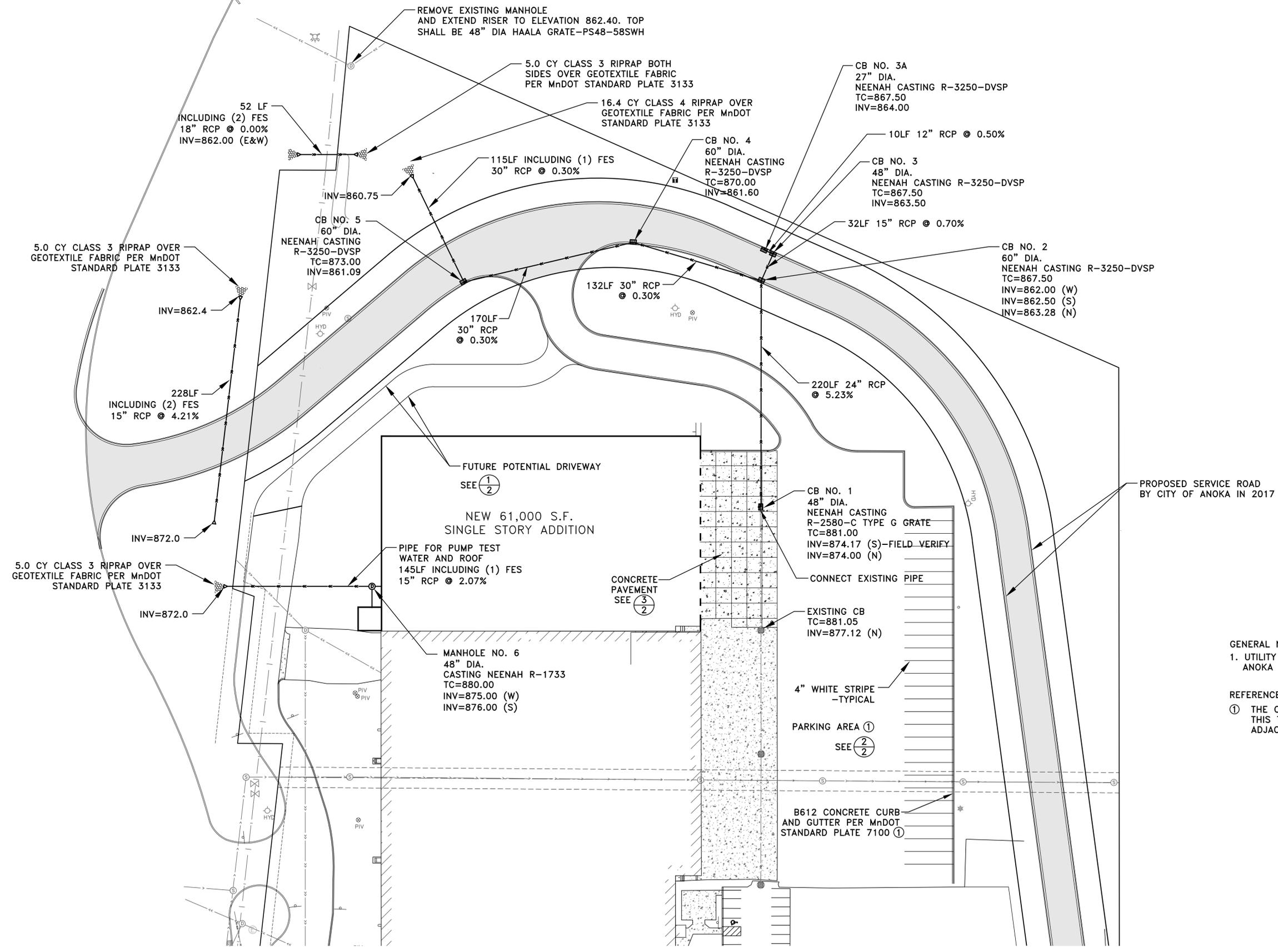
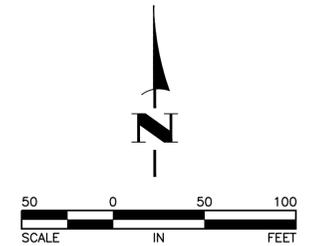


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**GREEN HAVEN PARKWAY  
SITE IMPROVEMENTS**

**GRADING, DRAINAGE AND EROSION  
CONTROL PLAN**  
CITY OF ANOKA, MINNESOTA

SHEET  
6  
OF  
7  
SHEETS



GENERAL NOTES:  
 1. UTILITY INSTALLATION SHALL BE COORDINATED WITH THE CITY OF ANOKA SERVICE ROAD CONSTRUCTION.

REFERENCE NOTES:  
 ① THE OWNERS INTENTIONS ARE TO LEAVE THIS AREA GRAVEL AT THIS TIME UNTIL A PAVING PLAN IS COMPLETED FOR THE ADJACENT PAVED PARKING LOT TO THE SOUTH.

Jun 03, 2016 - 9:17am K:\cad\eng\PROJECTS\PRIVATE\2575.19\ENGINEERING\2575.19 UTIL.dwg

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*Eric J. Ochum*  
 ERIC J. OCHUM, PE  
 Date 6/1/16 Lic. No. 23461

DESIGNED BY: CJJ  
 DRAWN BY: AMT  
 CHECKED BY: CJJ



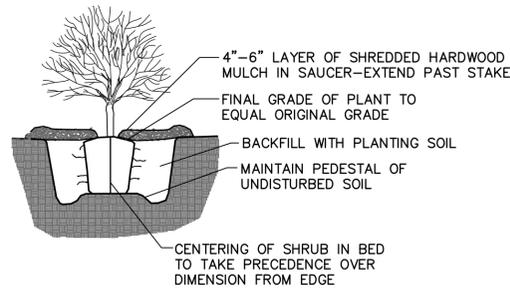
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**GREEN HAVEN PARKWAY  
 SITE IMPROVEMENTS**

**UTILITY & PAVING PLAN**  
 CITY OF ANOKA, MINNESOTA

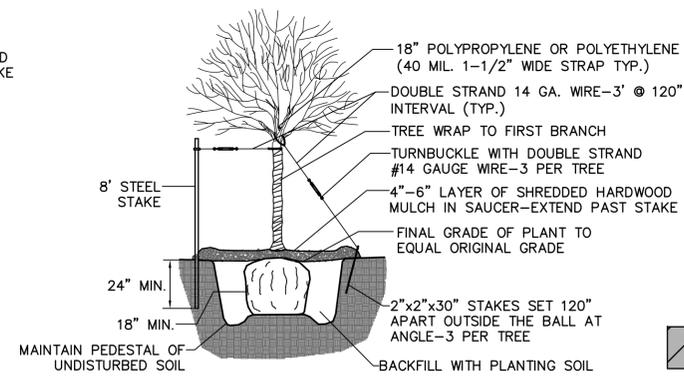
SHEET 7 OF 7 SHEETS

REFERENCE NOTES:  
 ① LANDSCAPE PLAN FOR THE FUTURE SERVICE ROAD WILL BE SUBMITTED WITH THE SERVICE ROAD CONSTRUCTION PLANS.



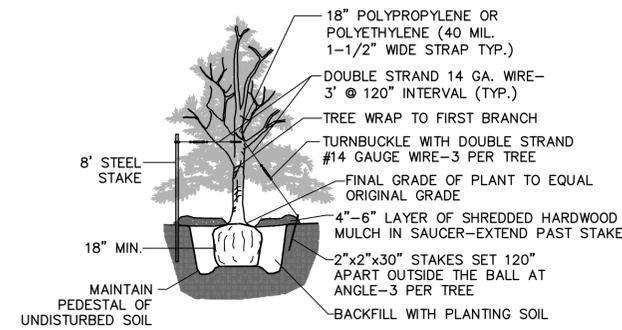
- NOTES:  
 1. HAND LOOSEN ROOTS OF CONTAINERIZED MATERIAL (TYP.).  
 2. SCARIFY BOTTOM AND SIDES OF HOLE PRIOR TO PLANTING.

SHRUB PLANTING DETAIL



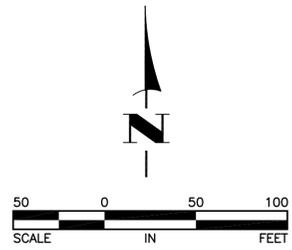
- NOTES:  
 1. TWO ALTERNATE METHODS OF TREE STAKING ARE SHOWN.  
 2. IT IS THE CONTRACTOR'S OPTION TO STAKE TREES; HOWEVER, THE CONTRACTOR IS RESPONSIBLE FOR MAINTAINING TREES IN A PLUMB POSITION THROUGHOUT THE GUARANTEE PERIOD.  
 3. SCARIFY BOTTOM AND SIDES OF HOLE PRIOR TO PLANTING.

DECIDUOUS TREE PLANTING DETAIL



- NOTES:  
 1. TWO ALTERNATE METHODS OF TREE STAKING ARE SHOWN.  
 2. IT IS THE CONTRACTOR'S OPTION TO STAKE TREES; HOWEVER, THE CONTRACTOR IS RESPONSIBLE FOR MAINTAINING TREES IN A PLUMB POSITION THROUGHOUT THE GUARANTEE PERIOD.  
 3. SCARIFY BOTTOM AND SIDES OF HOLE PRIOR TO PLANTING.  
 4. CONIFER TO HAVE SHREDDED HARDWOOD MULCH UNLESS OTHERWISE NOTED.  
 5. NO MULCH TO BE IN CONTACT WITH TRUNK.

CONIFEROUS TREE PLANTING DETAIL



LEGEND

	SEE REFERENCE NOTE ①
	SOD
	MNDOT MIXTURE 25-131
	MNDOT MIXTURE 33-262

NEW 61,000 S.F. SINGLE STORY ADDITION

- PLANTING NOTES:
- Contractor shall provide one year guarantee of all plant materials. The guarantee begins on the date of the Landscape Architect's written acceptance of the initial planting. Replacement plant materials shall also have a one year guarantee commencing upon planting.
  - All plants to be northern-grown and hardy. Plants to be installed as per standard AAN planting practices.
  - Use minimum 12" loam planting soil on trees and 6" on shrubs.
  - Contractor shall verify locations with all utilities prior to installation of plants.
  - All landscaping, including seeded and sodded areas to be manually watered until established.
  - Staking of trees optional; reposition if not plumb after one year.
  - Wrap all smooth-barked trees—fasten top and bottom. Remove by April 1.
  - Open top of burlap on B&B materials; remove pot on potted plants; split and break apart peat pots.
  - Prune plants as necessary — per standard nursery practice.
  - Owner shall be responsible for maintenance after acceptance of the work by the Owner.
  - Plants shall be immediately planted upon arrival at site. Properly heel-in materials if necessary.
  - All disturbed areas to be seeded unless otherwise noted. Sod shall be northern grown and hardy.
  - Planting beds for shrubs shall have (4 oz. min.) weed barrier fabric, 3" - 4" of 1-1/2" washed River Rock mulch and 4" vertical (commercial grade) black steel edging. The edging shall be placed and staked with smooth lines or curves as shown on the plan. Weed barrier shall not around or adjacent to perennials or ornamental grasses. Weed barrier may be omitted if weeds can be managed by using Preen or an equivalent weed pre-emergent and preventative.
  - Double shredded dark brown hardwood mulch 4" deep shall be provided around all new trees.
  - Retaining walls are not the responsibility of the Landscape Architect. Contact the Project Engineer for details, locations, materials, and specifications for all retaining walls.
  - Save all existing trees shown on the plan. Protection fencing shall be used if necessary.
  - Soil testing shall be completed by the Landscape Contractor to ensure that soils are suitable to be used in planting areas. Where proposed green areas are replacing previous pavement or compacted areas, subsurface base shall be removed to a depth of 4 feet minimum and replaced with soils that will sustain proper growing conditions.
  - Highland sod only, no peat sod accepted. Select a blend tolerant to salt and drought. Located around building only.
  - Turf seed shall be as specified.

Jun 03, 2016 - 10:07am K:\acad\_eng\PROJECTS\PRIVATE\2575.19\ENGINEERING\2575.19\_LSCAPE.dwg

DATE	REVISION

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CRAIG J. OCHUM, PE  
 Date 6/1/16 Lic. No. 23461

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 DRAWN BY: AMT  
 CHECKED BY: CJJ

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**GREEN HAVEN PARKWAY  
 SITE IMPROVEMENTS**

**LANDSCAPE PLAN**  
 CITY OF ANOKA, MINNESOTA

SHEET L1 OF L1 SHEETS