



City Council - Regular Meeting Monday, May 2, 2016 - 7:00 p.m. Council Chambers

(meeting will be cablecast)

1. **CALL TO ORDER**
2. **ROLL CALL**
3. **COUNCIL MINUTES**
 - 3.1 April 18, 2016 Local Board of Appeals & Equalization Mtg.
April 18, 2016 Regular Mtg.
4. **OPEN FORUM** **The open forum is an opportunity for the public to address the City Council concerning items not listed on the agenda. Please raise your hand to be recognized by the Mayor or member officiating the meeting. Approach the podium and state your full name and address for the record. Rules of Conduct as listed in the public folder provided at the entrance of the Council Chambers must be adhered to.*
5. **PUBLIC HEARING(S)**
 - 5.1 Public Hearing; Issuance of an On-Sale Intoxicating Liquor & Sunday Liquor License to MN Tavern Development Group, LLC, dba; 201 Tavern & Grill, 201 Jackson St, Suite 102.
RES/ Issuance of an On-Sale Intoxicating Liquor & Sunday Liquor License to MN Tavern Development Group, LLC, dba; 201 Tavern & Grill, 201 Jackson St, Suite 102.
 - 5.2 Public Improvement Hearing; Stormwater Pollution Prevention Annual Report. (SWPPP)
6. **CONSENT AGENDA**
 - 6.1 Verified Bills.
 - 6.2 Revising & Setting Council Calendars.
7. **REPORTS OF OFFICERS, BOARDS & COMMISSIONS**
 - 7.1 Planning Items:
 - 7.1.A ORD/Rezoning; 6058 Hwy 10. (2nd reading)
 - 7.1.B RES/Final Plat; 6058 Hwy 10.
 - 7.1.C ORD/Planned Unit Development; 6058 Hwy 10. (2nd reading)
8. **PETITIONS, REQUESTS & COMMUNICATION**

9. ORDINANCES & RESOLUTIONS

- 9.1 RES/ Issuance of an On-Sale Intoxicating Liquor & Sunday Liquor License to MN Tavern Development Group, LLC, dba; 201 Tavern & Grill, 201 Jackson St, Suite 102. (ACTED UPON AFTER PUBLIC HEARING)
- 9.2 RES/Recommended Approval of an LG214 Premise Permit; Northstar Search & Rescue @ 10K Brewing.
- 9.3 RES/Approval of Purchase Agreement; Dennis & Beverly Medved.
- 9.4 RES/Fellowship Place Utility Extensions; Accept Bids and Award Construction Contract.
- 9.5 RES/Purchase of an Easement at Anoka Technical College for Drainage & Utility Purposes.
- 9.6 ORD/Amending Chpt 46; Offenses & Miscellaneous Provisions, Article III. Offenses Involving Public Safety. (1st Reading)

10. UNFINISHED BUSINESSES

11. NEW BUSINESS

- 11.1 Consideration of Issuance of a Special Events License; MN Brewery Running Series; “5K-10K Fun Run”.
- 11.2 Consideration of Issuance of a Special Events License; Anoka Masonic Lodge’ “Get Out The Grill Out”.
- 11.3 Adoption of Waterfowl Management Policy.

12. UPDATES & REPORTS

- 12.1 1st Quarter Financial Report.
- 12.2 Tentative Agendas.

ADJOURNMENT

COUNCIL MEMO FORM

3.1

Meeting Date	May 2, 2016
Agenda Section	Council Minutes
Item Description	Various City Council Meeting Minutes
Submitted By	Amy Oehlers, City Clerk

BACKGROUND INFORMATION

Included in your packet are minutes (s) of previous Council meetings, worksessions, special meetings, etc. Minutes must be approved by the City Council and are kept permanently in the official City Council Minute Book.

FINANCIAL IMPACT

None.

COUNCIL ACTION REQUESTED

Approval of minutes.

**CITY OF ANOKA BOARD OF EQUALIZATION
ANOKA CITY HALL
COUNCIL CHAMBERS
APRIL 18, 2016**

1. CALL TO ORDER

Acting chairperson Jeff Weaver called the meeting to order at 5:32 p.m.

2. ROLL CALL

Present at roll call were: Acting Chairperson Jeff Weaver, Commissioners; Steve Schmidt, Carl Anderson and Mark Freeburg.

Absent at roll call was: Phil Rice

Staff present was: City Manager Greg Lee, City Assessor Scott Varner.

Also in attendance from Anoka County was: Deputy Assessor Diana Stellmach.

3. BOARD OF EQUALIZATION

City Assessor Scott Varner provided a brief overview of market values in the City of Anoka. He indicated overall market values were up 7.98%. He mentioned 1-3 unit residential was up 6.8%, apartments are up 14.43%, and commercial/industrial are up 7.1%.

City of Anoka market value is nearing its pre-crash level. Briefly discussed the rapid increase in value occurring with entry level housing.

Mr. Varner indicated the number of calls received by the assessor's office was less than last year (15) and surprisingly low.

Chairperson Phil Rice joined the meeting and assumed control at 5:38 p.m.

4. PUBLIC COMMENT

There were no public comments.

5. COUNCILMEMBERS COMMENTS

6. ADJOURNMENT

Commissioner Freeburg made a motion to adjourn the Board of Equalization meeting. Commissioner Weaver seconded the motion. Vote taken. All ayes. Motion carried. Time of adjournment: 6:00 p.m.

Submitted by: Scott Varner, City Assessor

Approval Attestation:

Amy T. Oehlers, City Clerk

**REGULAR MEETING OF THE ANOKA CITY COUNCIL
ANOKA CITY HALL
CITY COUNCIL CHAMBERS
APRIL 18, 2016**

1. CALL TO ORDER

Mayor Rice called the meeting to order at 7:00 p.m., followed by the Pledge of Allegiance.

2. ROLL CALL

Present at roll call: Mayor Rice, Councilmembers Anderson, Freeburg, Schmidt, and Weaver.

Staff present: City Manager Greg Lee; Associate Planner Chuck Darnell; Finance Director Lori Yager; City Attorney Scott Baumgartner; and Recording Secretary Amanda Staple.

Absent at roll call: None.

3. COUNCIL MINUTES

3.1 Minutes of April 4, 2016, Regular Meeting.

Motion by Councilmember Weaver, seconded by Councilmember Anderson, to waive the reading and approve the April 4, 2016, Regular Meeting minutes.

Vote taken. All ayes. Motion carried.

4. OPEN FORUM

4.1 Proclamation: Arbor Day. Tree City USA Award.

Superintendent of Public Services Mark Anderson shared a staff report with background information to the Council stating the City of Anoka has been issued the Tree City USA Award for 2015 by the Minnesota Department of Natural Resources and the National Arbor Day Foundation. This Award is for the City's continued commitment to trees and forestation in our community and the City has met the award criteria for 34 years. In recognition of the event, the City will be planting a tree at St. Stephens School at 9:45am on April 29, 2016.

Councilmember Schmidt suggested that perhaps for this year it could be called Tom Hammer Arbor Day. There was consensus of the Council.

Councilmember Weaver commented on the great knowledge about trees and skills with children that Tom Hammer has contributed to the City and also acknowledged other events that he has assisted in.

Mayor Rice read aloud the proclamation.

4.2 Other

Brad Holmbo announced that the car show would begin in Anoka on May 21st through September 17th. He noted that this year the Anoka-Champlin Fire Department Relief Fund will be the sponsor of the event.

Brad Holmbo stated that a new radio station that broadcast on the north side of the metro, 95.9, has approached the group to advertise for the event and will feature a program titled "Cruising" on Wednesday nights.

Councilmember Weaver acknowledged the effort from this group for the people that this event brings into downtown Anoka and the trickledown factor that has on local businesses.

5. PUBLIC HEARING(S)

5.1 Modification to TIF District.

RES/Approving Modification to TIF District/Greens of Anoka and Commuter Rail Transit Village.

RESOLUTION

Finance Director Lori Yager shared a staff report with background information to the Council stating the City of Anoka is proposing modifications to the Tax Increment Financing Plans for the Greens of Anoka Tax Increment Financing District and the Commuter Rail Transit Village Tax Increment Financing District to allow for increment to be used for the purchase of property in another TIF district. The purpose of this modification is to authorize the purchase of property located in another TIF district with increment from the Greens of Anoka and Commuter Rail Transit Village Tax Increment Financing Districts.

Councilmember Schmidt noted that a large amount of detail can be found on the City website for those looking for additional information.

Mayor Rice opened the public hearing at 7:15 p.m.

Being no comments Mayor Rice closed the public hearing at 7:15 p.m.

NOTE: By motion from Councilmember Freeburg, which was seconded by Councilmember Schmidt, and by a unanimous vote of the Council, agenda item 9.1 was moved up on the agenda and acted upon at this point.

Motion by Councilmember Weaver, seconded by Councilmember Schmidt, to adopt a resolution adopting a modification to the tax increment financing plans for

the Greens of Anoka tax increment financing district and the Commuter Rail Transit Village tax increment financing district.

Upon a roll call vote: Mayor Rice, Councilmembers Anderson, Freeburg, Schmidt, and Weaver voted in favor. Motion carried.

6. CONSENT AGENDA

Councilmember Schmidt noted that upcoming recycling event in April.

Motion by Councilmember Schmidt, seconded by Councilmember Anderson, to approve Consent Agenda 6.1 through 6.2.

6.1 Approved Verified Bills.

6.2 Revising and Setting Council Calendars.

Vote taken. All ayes. Motion carried.

7. REPORTS OF OFFICERS, BOARDS AND COMMITTEES

7.1 Waste Reduction and Recycling Board – Annual Report.

WRRB Chairperson Vicki Violet presented the WRRB's annual report, outlining the 2015 major accomplishments and 2016 projects/activities. She shared reminder that residents can contract for yard waste through their private garbage hauler or can utilize the Anoka County Compost Site off Hanson & Bunker Lake Blvd in Coon Rapids.

Councilmember Freeburg asked for additional information on the materials residents place in their recycling container that is picked up at their homes.

Ms. Violet replied that the material is brought to a sorting facility and then processed and palletized, depending upon the product type, and then possibly shipped. She noted that there is a sticker on the top of the container, which specifies the materials that can be placed inside.

Mayor Rice asked the types of items that are anticipated at the spring clean-up day.

Ms. Violet replied that they receive a lot of household items and paper to be shredded along with mattresses and bicycles. She advised that eyeglasses are collected for donation to the Lions Club and then shipped overseas for those that need assistance with their eyesight.

Councilmember Anderson asked for additional information on the challenges with multi-family residential development and their participation in recycling.

Ms. Violet replied that in senior buildings there is sometimes a lack of space to store the materials or an inconvenient location for the recycling collection at that facility. She noted that the list of materials collected is on the City website.

7.2 Planning Items.

7.2.A RES/Site Plan Amendment; 424 West Main Street **RESOLUTION**

Associate Planner Chuck Darnell shared a staff report with background information to the Council stating the applicant, Ben Kotrba, is proposing to remodel the existing building at 424 West Main Street. As part of the remodel, the applicant will be enclosing the existing covered patio on the east side of the building, adding a small addition near the existing building entrance, and replacing the exterior façade. The applicant previously submitted plans for site plan review, and those plans were approved by the City Council on September 21, 2015. The applicant has proposed to change the primary exterior opaque materials from what was originally reviewed and approved during the site plan review process in 2015. The other portions of the original site plan review have not changed. Therefore, the purpose of this review and approval of a site plan amendment is to approve the changes to the exterior opaque building materials.

Councilmember Schmidt noted that the trash enclosure will be changed from a wood container to masonry and asked if that will be expanded.

Ben Kotrba applicant, replied that he has asked the contractor for an alternate bid to determine if he can make the area larger.

Councilmember Schmidt noted that there has not been much investment in property on that side of Main Street and was pleased to see the updating.

Councilmember Freeburg commented on the longevity of the business and appreciated the improvements to the building.

Councilmember Weaver noted that this is a national franchise and asked if this update was directed by the franchise and whether they approve the plans.

Mr. Kotrba replied that Dairy Queen did approve the plans and advised that when he purchased the location there was a modernization clause in the contract, noting that these plans surpass the required updating. He

believed that the addition of a restroom would be welcome by the customers, along with more than doubling the seating capacity. He confirmed that the drive-thru pattern would continue as-is and that the business would remain open to customers as much as possible. He noted that the drive-thru would remain open while improvements are made to the interior floor and other elements.

Mayor Rice asked the percentage of the building that would be stone.

Mr. Darnell stated that he did not have the ratio of stone to tile but provided the total percentage of each size that would be either stone or tile. He noted that the applicant was previously approved for alternate materials and therefore some additional materials would be allowed.

Motion by Councilmember Freeburg, seconded by Councilmember Anderson, to hold adopt a resolution approving a site plan amendment, 424 West Main Street.

Upon a roll call vote: Mayor Rice, Councilmembers Anderson, Freeburg, Schmidt, and Weaver voted in favor. Motion carried.

Mr. Kotrba noted that he is awaiting the approval of the building permit and plans to begin construction within one to two weeks.

7.2.B ORD/Rezoning: 6058 Highway 10. (*1st Reading*)

Mr. Darnell shared a staff report with background information to the Council stating the City is proposing to change the zoning classification of a City-owned property located at 6058 Highway 10. The property is currently zoned R-6 Manufactured Home, but that zoning district does not accommodate many types of redevelopment. Staff has proposed that the zoning classification be changed to R-3 Medium and High Density Residential.

Councilmember Freeburg noted that this rezoning is for the site to which Riverplace Counseling Center will relocate from their current location on Ferry Street.

Motion by Councilmember Weaver, seconded by Councilmember Schmidt, to hold first reading of an ordinance amending Chapter 74, Article III, Section 74-62 of the Anoka City Code regarding the City of Anoka Zoning Map.

Upon a roll call vote: Mayor Rice, Councilmembers Anderson, Freeburg, Schmidt, and Weaver voted in favor. Motion carried.

7.2.C RES/Preliminary Plat; 6058 Highway 10.

RESOLUTION

Mr. Darnell shared a staff report with background information to the Council stating the applicant requesting a preliminary plat, to be titled Fellowship Place, of the property located at 6058 Highway 10. This is the site of a former manufactured home park, which is now vacant, and the City of Anoka is the current owner. The subject property is proposed to be zoned R-3 Medium and High Density Residential. Lot area and size requirements in the R-3 zoning district are based on the type of dwelling that will be erected upon the lot, and the lots that are proposed are of a sufficient size to meet the requirements.

Councilmember Schmidt stated that he did not realize the amount of space designated for future development.

Mr. Darnell replied that there are almost three acres marked for future development and confirmed that is a part of the purchase agreement.

Motion by Councilmember Freeburg, seconded by Councilmember Anderson, to adopt a resolution approving a preliminary plat for Fellowship Place.

Upon a roll call vote: Mayor Rice, Councilmembers Anderson, Freeburg, Schmidt, and Weaver voted in favor. Motion carried.

7.2.D RES/Variance and Site Plan; 6058 Highway 10; Planned Unit Development Size.

RESOLUTION

Mr. Darnell shared a staff report with background information to the Council stating the applicant, Dennis Medved, has submitted an application for a variance and site plan review as part of a planned unit development (PUD) to develop townhomes and an office building on the property at 6058 Highway 10. The property will be used as the new facilities for Riverplace Counseling Center. The applicant is requesting a variance to create a PUD that is smaller than the minimum total district area of 5 acres that is required by Anoka City Code. The area that would be included in the proposed PUD is 3.8 acres.

Councilmember Freeburg asked if there were any plans available for the projected sitting areas and river area along Ferry Street.

City Manager Greg Lee noted that information can be found on the City website.

Mayor Rice referenced the future room for expansion, and noted that if this property were used for anything other than the intended use it would be practical to have additional lots for housing. He asked if this received any special privilege for expanding the business further than it currently exists.

Councilmember Freeburg noted that the expansion could perhaps be limited by licensing.

City Attorney Scott Baumgartner replied that typically the number of clients allowed is a ratio of clients to staff. He believed that the future expansion plans are limited to economics rather than staffing, noting that they are placing an investment into the initial construction and this would be more of a phasing for development.

Mr. Lee stated that this new facility will be a reduction to the number of clients they currently service and therefore this room for expansion would allow the facility to grow back to the current occupancy with perhaps a few additional clients.

Mayor Rice asked the number of clients that are allowed under the CUP and asked for additional information.

Mr. Darnell provided additional details on the site noting that the proposed impervious surface for the site, at full build out, would be slightly over the 30 percent maximum at 31 percent. He noted that the storm water would all be managed onsite. He referenced a similar situation, the Anoka Ramsey Technical College, which has a small PUD but did not go through a variance.

Councilmember Freeburg noted that this business has continued to grow in its current location on Ferry Street and therefore this new location will better suit the business.

Motion by Councilmember Freeburg, seconded by Councilmember Weaver, to adopt a resolution approving a variance and site plan for 6058 Highway 10.

Further discussion: Councilmember Schmidt noted that this would be taking a City owned parcel and developing it into a tax paying parcel.

Upon a roll call vote: Mayor Rice, Councilmembers Anderson, Freeburg, Schmidt, and Weaver voted in favor. Motion carried.

7.2.E ORD/Planned Unit Development; 6058 Highway 10. (1st Reading)

Mr. Darnell shared a staff report with background information to the Council stating the applicant is seeking a rezoning of the property to Planned Residential Development.

Councilmember Schmidt asked if in the future the Council should examine whether the size specified for PUDs is appropriate in the code or whether it should be made smaller.

Councilmember Freeburg noted that the Council does have the ability to allow a variance for smaller PUDs.

Mr. Darnell stated that staff can further research the option and bring the information back for discussion.

Motion by Councilmember Freeburg, seconded by Councilmember Schmidt, to hold first reading of an ordinance amending Chapter 74, Article III, Section 74-62 of the Anoka City Code Regarding the City of Anoka Zoning Map.

Further discussion: Mayor Rice stated that this is a win/win for everyone. He stated that his concern would be with the size of a possible expansion in the future that could exceed the expectations of the City. He stated that he would like assurance that the City has control over expansion in a PUD of this nature to ensure that this does not grant special ability for expansion that the City did not intend.

Councilmember Freeburg stated that it appears there is only room for the additional units specified as future expansion on this site.

Mr. Darnell noted that there are conditions included to address that concern. He noted that it would only be feasible to expand the four units, two buildings, specified on this site.

Mayor Rice asked if the City is now looking at the style of the structure.

Mr. Darnell confirmed that is the design proposed and displayed a proposed sketch, highlighted different architectural elements. He noted that the townhome units would meet the required parking elements and building code of the City, should the units become owner occupied townhomes at some time in the future. He confirmed that each two-bedroom townhome would allow for double occupancy, which means four clients could be housed in each townhome.

Mayor Rice commented on the appearance of the structures noting that they are beautiful and will be such an upgrade from the current campus.

Councilmember Schmidt stated that he has heard overall support from the community as well.

Upon a roll call vote: Mayor Rice, Councilmembers Anderson, Freeburg, Schmidt, and Weaver voted in favor. Motion carried.

8. PETITIONS, REQUESTS AND COMMUNICATION

None.

9. ORDINANCES AND RESOLUTIONS

9.1 Modification to TIF District.
RES/Approving Modification to TIF District/Greens of Anoka and Commuter Rail Transit Village.

ACTED UPON AFTER PUBLIC HEARING

9.2 ORD/Second Amendment to Purchase Agreement; Hearth Development I, LLC.
(2nd Reading)

ORDINANCE

Mr. Lee shared a staff report with background information to the Council stating on February 2, 2015, the City of Anoka and Hearth Development entered into a purchase agreement for 1.57 acres of land at the southeast corner of 2nd Avenue and Harrison Street. Hearth Development wishes to build the Gladstone Cooperative, a 44-unit (previously proposed 59 units) senior cooperative on that site. The purchase agreement outlined a date of closing of August 31, 2015. Hearth Development has been actively marketing the building, however, had not reached the necessary amount of reservations to be able to proceed with purchase of the property. Therefore, back on September 8, 2015, the developer asked to extend the closing date to March 1, 2016 to allow sufficient time to obtain the necessary amount of reservations to receive financing. Since then, they have been working through the financing process with HUD, which has taken more time than expected. At this point, Hearth Development would like to push the closing date back to on or before June 1, 2016.

Councilmember Freeburg stated that he prefers the new height as it will be a better aesthetic match to the surroundings.

Councilmember Anderson agreed.

Mr. Lee noted that he has heard similar comments of support for the lower height from the nearby condominium building.

Motion by Councilmember Freeburg, seconded by Councilmember Anderson, to hold second reading and adopt an ordinance approving second amendment to the purchase agreement with Hearth Development I, LLC.

Further discussion: Mayor Rice stated that he is pleased that this development will be moving forward and will contribute to the Historical Rum River District.

Councilmember Schmidt noted that this would be another City owned parcel that would joining the tax roll.

Upon a roll call vote: Mayor Rice, Councilmembers Anderson, Freeburg, and Schmidt, voted in favor. Motion carried. Councilmember Weaver abstained.

10. UNFINISHED BUSINESS

None.

11. NEW BUSINESS

None.

12. UPDATES AND REPORTS

12.1 Tentative Agenda(s).

The Council reviewed the tentative agendas of the upcoming Council meetings.

12.2 Staff and Council Input.

Councilmember Freeburg noted that the new parking lot near City Hall is moving along well.

Mr. Lee noted two road closures: Monroe Street between 1st and 2nd Avenue, which will be closed for the next two weeks; and 7th Avenue from Main Street to 5th Avenue/East River Road, which will be closed for up to two weeks beginning the following Monday.

Ms. Yager provided an update on the TIF Bill, which went before the Senate and has now been passed onto the House of Representatives.

Mr. Lee noted that MnDOT has dedicated \$300,000 to study possible grade separation at the rail crossing on Ferry Street. He noted that if the cost estimate looks feasible MnDOT would like to continue with the design of that element. He stated that an open house meeting would be held in late May or early June and noted that the study is anticipated to conclude by August of this year. He noted that the study would include the area of Ferry Street from Highway 10 to McKinley Street with a possible signal at McKinley.

Councilmember Anderson stated that this will perhaps resurrect the discussion of access for the subdivision near the fairgrounds.

Mr. Lee confirmed that is why the possible signal is also being researched but noted that if a signal is installed at McKinley that would require the access of two other nearby roadways onto 47 to be closed.

13. ADJOURNMENT

Councilmember Freeburg, made a motion to adjourn the Regular Council meeting. Councilmember Schmidt, seconded the motion.

Vote taken. All ayes. Motion carried.

Time of adjournment: 8:29 p.m.

Submitted by: Amanda Staple, *TimeSaver Off Site Secretarial, Inc.*

Approval Attestation:

Amy T. Oehlers, City Clerk

DRAFT

COUNCIL MEMO FORM

5.1 & 9.1

Meeting Date	May 2, 2016
Agenda Section	Public Hearings Ordinances & Resolutions
Item Description	Public Hearing & RES/Issuance of an On-Sale Intoxicating Liquor & Sunday Liquor; MN Tavern Development Group, LLC, dba; 201 Tavern & Grill, 201 Jackson St, Suite 102
Submitted By	Amy Oehlers, City Clerk

BACKGROUND INFORMATION:

A new business has moved into the location that was previously operated as River City Saloon.

The new business is MN Tavern Development Group, LLC, dba; 201 Tavern & Grill.

They have applied for an On-Sale Intoxicating Liquor & Sunday Liquor License.

Staff has conducted the necessary background investigations and no concerns or objections have been expressed.

The business has been doing some remodeling of the building and plans to re-open within the first couple weeks of May. The approval of this license will be contingent upon final inspections and issuance of a Certificate of Occupancy.

FINANCIAL IMPACT

Annual cost: On-Sale Intoxicating Liquor License \$5,000, Sunday Liquor \$200, Investigation fee of \$550.

Per Minn. Statutes, Liquor Licenses fees have been prorated for the year of 2016. These fees have been collected by the City.

COUNCIL ACTION REQUESTED:

Request that the public hearing be opened, public comment taken, hearing closed, and Council take action on the Resolution approving the issuance of the On-Sale Intoxicating Liquor & Sunday Liquor License.



2015 First Avenue, Anoka, MN 55303
Phone: (763) 576-2700 Website: www.ci.anoka.mn.us

**CITY OF ANOKA, MINNESOTA
RESOLUTION**

RES-2016-

**RESOLUTION APPROVING THE ISSUANCE OF AN
ON-SALE INTOXICATING LIQUOR & SUNDAY LIQUOR LICENSE TO
MN TAVERN DEVELOPMENT GROUP, LLC, dba; 201 TAVERN & GRILL,
201 JACKSON STREET, SUITE 102, ANOKA, MINNESOTA**

WHEREAS, the City of Anoka has received an application from MN Tavern Development Group, LLC, dba; 201 Tavern & Grill, located at 201 Jackson Street, Suite 102, Anoka, MN; and

WHEREAS, the applicant has met the requirements of the Anoka City Code and the laws of the State of Minnesota, and

WHEREAS, City departments have reviewed the application and conducted the necessary background investigations and no concerns or objections were expressed; and

WHEREAS, the property located at 201 Jackson St, Suite 201, Anoka, MN is currently being remodeled. Anoka City Code Section 6-15 authorizes the City to grant a license whereby the building is not yet ready for occupancy; however, the approval and issuance of the license will be contingent upon successful inspections and issuance of a Certificate of Occupancy, which must occur within ninety (90) days of approval of the license.

WHEREAS, appropriate fees have been received by the City.

NOW, THEREFORE, BE IT RESOLVED, that the Anoka City Council does hereby approve the issuance of an On-Sale Intoxicating Liquor & Sunday Liquor license to MN Tavern Development Group, LLC, dba; 201 Tavern & Grill, at 201 Jackson St, Suite 201, Anoka, MN, effective May 3, 2016 to expire on December 31, 2016, and

BE IT FURTHER RESOLVED, that this approval and issuance of the licenses will be contingent upon successful inspections and issuance of a Certificate of Occupancy, which must occur within ninety (90) days of adoption of this Resolution.

BE IT FURTHER RESOLVED, that the Anoka City Council hereby directs the City Clerk to forward the necessary applications and documentation to the Minnesota Department of Public Safety, Liquor Control Division for their review and approval.

Adopted by the Anoka City Council this the 2nd day of May 2016.

ATTEST:

Amy T. Oehlers, City Clerk

Phil Rice, Mayor

COUNCIL MEMO FORM

5.2

Meeting Date	May 2, 2016
Agenda Section	Public Hearings & Ordinances/Resolutions
Item Description	Public Improvement Hearing; Stormwater Pollution Prevention Annual Report (SWPPP)
Submitted By	Ben Nelson, Engineering Technician

BACKGROUND INFORMATION

A public improvement hearing notice was published in the City's legal newspaper, the Anoka County Union Herald on March 25th and April 1st and by State Law, the Anoka County Record's requested and received the public notice. This public improvement hearing is one of the requirements of the City's National Pollution Discharge Elimination System (NPDES) permit to update the City Council and provide an opportunity annually for the public to provide input on the adequacy of the City's Storm Water Pollution Prevention Program (SWPPP). This plan establishes annual goals and objectives for the City in an effort to implement policies and procedures that will meet stormwater quality requirements of the permit.

DISCUSSION

Our land and water resources ultimately depend on the replenishing waters of annual precipitation. In an unaltered situation this precipitation is largely absorbed into the ground. This leaves soil, for the most part, in place and gives bacteria and other mechanisms an opportunity to break down materials deposited on the land. However, when this precipitation falls on impervious surfaces such as streets, parking lots or rooftops this slow process is short-circuited. Large quantities of sediment, along with the oils, chemicals and litter of human activity, are swept into nearby water bodies, contributing with each rainfall to the degradation of water quality within those lakes, streams and wetlands. The Minnesota Pollution Control Agency's (MPCA) Stormwater Program is designed to reduce the pollution and damage caused by stormwater runoff.

Mandated by Congress under the Clean Water Act, the NPDES Stormwater Program is a comprehensive national program for addressing polluted stormwater runoff. Minnesota regulates the disposal of stormwater through State Disposal System (SDS) permits. The MPCA issues combined NPDES/SDS permits for construction sites, industrial facilities and municipal separate storm sewer systems (MS4s). As of March 10, 2003, the City of Anoka began operating under its own stormwater discharge permit. In 2013, the City of Anoka applied for reauthorization under the revised permit as administered by the MPCA. In February of 2014, the City's application was approved and the permit to discharge stormwater was reauthorized. In order to comply with revised federal regulation, municipalities are required to modify their SWPPP that focuses on ways the municipality will reduce the amount of sediment and pollution entering the surrounding water bodies. The SWPPP includes six minimum control measures that need to be addressed by the City. Each measure is aimed at reducing the amount of pollution entering water bodies through various methods as listed below:

- Public Education & Outreach
- Public Involvement & Participation
- Illicit discharge detection & elimination
- Construction site stormwater control
- Post construction stormwater management for new development & redevelopment
- Pollution prevention/good housekeeping for municipal operations

Each control measure includes several Best Management Practices (BMPs) that will be used to accomplish the measure and each will include measurable goals that can establish the effectiveness of the SWPPP.

As noted above, this annual meeting that we are holding tonight satisfies one of the requirements of the first minimum control measure – public education and outreach. The City is also required to submit an annual report to the MPCA documenting the accomplishments of the previous year that will be submitted this month.

Other accomplishments from the past year include:

- Continued to support a stormwater page on the City's website to give the public some ideas as to what they can do at home & in their neighborhoods to improve stormwater quality.
- We published articles in the City's newsletter to alert people to the changes here and coming in the area of stormwater management and their part in it.
- With the cooperation of the Public Services Department, we are partnering with private developers to both meet their stormwater requirements and improve the functionality of our stormwater ponds.
- We inspected all of the City's outfalls & storm ponds and updated our storm system map.
- We adopted and implemented our Local Surface Water Management Plan.
- In cooperation with Community Development, we continued our on-site septic sewer inspection & certification program.
- We monitored and inspect all of the major public and/or private projects for LRRWMO and NPDES compliance.
- As part of the 2015 Street Renewal Project, we installed 2 stormwater treatment structures to improve water quality and reconstructed an outfall to the Rum River.
- As part of the capital improvement projects in 2015, we constructed or replaced approximately 170 stormwater inlet structures, constructed an infiltration trench and a rain garden.
- City crews planted 500 plus seeding for river bank stabilization along the Mississippi River.
- City crews cleaned 40 catch basins and totally reconstructed 20. We also inspected the City's structural pollution control devices.
- City crews cleaned/removed sediment from outlets and stormwater treatment structures.
- Our street sweeping program covered over 830 lane miles all over town in the past year.

In the coming year we plan to continue, as we have in the past, and include more encouragement for public involvement, begin stormwater inspections electronically, survey storage volumes of our stormwater ponds, expand information available on the web as well as contract out the cleaning of our treatment outlet structures.

FINANCIAL IMPACT

N/A

COUNCIL ACTION REQUESTED

No formal council action is needed. Public input, comments and questions should be requested and heard.

COUNCIL MEMO FORM

6.1

Meeting Date	May 2, 2016
Agenda Section	Consent Agenda
Item Description	Verified Bills
Submitted By	Lori Yager, Finance Director

CONSENT AGENDA

Consent agenda contains several separate items which are acted upon by the Council in one motion. Upon request, any Consent Agenda item may be removed, and if necessary, placed somewhere else on the agenda or on a future agenda for Council discussion & action.

BACKGROUND INFORMATION

Each Council meeting the City Council is presented with two lists of bills. One list has been paid prior to the meeting to take advantage of discounts and to prevent late fees. The other list is for payments which are prepared to be paid. City Council ratification of the prepaid bills and approval of the bills to be paid is required.

If you have questions about a particular bill, please call me at 576-2771.

FINANCIAL IMPACT

Will vary from meeting to meeting.

COUNCIL ACTION REQUESTED

Approval of the Consent Agenda will mean ratification and approval of the Bill List(s).

**Paid Bill List for Ratification
Bill List for May 2, 2016**

Page 1 of 5

<i>Check #</i>	<i>Vendor Alpha Name</i>	<i>Invoice #</i>	<i>Description</i>	<i>Fund</i>	<i>Amount</i>
135861	CenturyLink	7634211903 Apr	Communications	101	General Fund \$10.04
135861	CenturyLink	7634211903 Apr	Communications	101	General Fund \$10.03
135861	CenturyLink	7634217730 Apr	Communications	101	General Fund \$136.60
135861	CenturyLink	7634213343 Apr	Communications	101	General Fund \$468.65
135861	CenturyLink	7635769728 Apr	Communications	101	General Fund \$30.11
135862	Cintas	470723873	Uniforms	101	General Fund \$27.12
135862	Cintas	470727259	Uniforms	101	General Fund \$39.29
135862	Cintas	470730644	Uniforms	101	General Fund \$28.03
135863	Continental Research Corp	433772-CRC-1	Cleaner	101	General Fund \$230.19
135864	Cottens Automotive	189317	Parts / Supplies	101	General Fund \$106.06
135864	Cottens Automotive	190370	Parts / Supplies	101	General Fund \$15.06
135864	Cottens Automotive	189193	Parts / Supplies	101	General Fund \$15.11
135864	Cottens Automotive	189021	V-Belts	101	General Fund \$23.96
135868	Ferguson Enterprises Inc #	3724147	Parts / Supplies	101	General Fund \$2,288.16
135872	Lancer Catering	GHN04945	Enterprise Annual Lunch	101	General Fund \$650.14
135873	LANO EQUIPMENT	02-358710	Parts / Supplies	101	General Fund \$67.80
135875	Metro Cities	2 2016	City Membership	101	General Fund \$6,379.00
135878	MTI Distributing Company	1054131-00	Blade Svc Pack	101	General Fund \$131.72
136013	Carr's Tree Service, Inc	93440	Week of 03/21/16	101	General Fund \$727.84
136014	CenturyLink	7633230326 Apr	Communications	101	General Fund \$20.04
136014	CenturyLink	7633233651 Apr	Communications	101	General Fund \$51.19
136014	CenturyLink	7633231091 Apr	Communications	101	General Fund \$202.35
136014	CenturyLink	7633230326 Apr	Communications	101	General Fund \$20.05
136015	Dex Media East LLC	110095703 Apr 2	NW Suburban Yellow Pgs	101	General Fund \$16.00
136017	ECM Publishers	327832	Parades Ord	101	General Fund \$161.25
136017	ECM Publishers	297197	Ord 2016-1629	101	General Fund \$59.13
136018	Ferrellgas	1091538731	Cylinders	101	General Fund \$26.14
136019	LIFE INSURANCE COMPA	SGD603645 04/0	LTD Ins Apr 2016	101	General Fund \$23.52
136019	LIFE INSURANCE COMPA	SGD603645 04/0	LTD Ins Apr 2016	101	General Fund \$755.07
136019	LIFE INSURANCE COMPA	SGD603645 04/0	LTD Ins Apr 2016	101	General Fund \$24.51
136019	LIFE INSURANCE COMPA	SGD603645 04/0	LTD Ins Apr 2016	101	General Fund \$50.84
136019	LIFE INSURANCE COMPA	SGD603645 04/0	LTD Ins Apr 2016	101	General Fund \$136.76
136019	LIFE INSURANCE COMPA	SGD603645 04/0	LTD Ins Apr 2016	101	General Fund \$18.66

**Paid Bill List for Ratification
Bill List for May 2, 2016**

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<i>Check #</i>	<i>Vendor Alpha Name</i>	<i>Invoice #</i>	<i>Description</i>	<i>Fund</i>	<i>Amount</i>
136019	LIFE INSURANCE COMPA	SGD603645 04/0	LTD Ins Apr 2016	101	General Fund \$70.12
136019	LIFE INSURANCE COMPA	SGD603645 04/0	LTD Ins Apr 2016	101	General Fund \$24.97
136019	LIFE INSURANCE COMPA	SGD603645 04/0	LTD Ins Apr 2016	101	General Fund \$47.24
136019	LIFE INSURANCE COMPA	SGD603645 04/0	LTD Ins Apr 2016	101	General Fund \$28.89
136019	LIFE INSURANCE COMPA	SGD603645 04/0	LTD Ins Apr 2016	101	General Fund \$28.44
136019	LIFE INSURANCE COMPA	SGD603645 04/0	LTD Ins Apr 2016	101	General Fund \$104.29
136019	LIFE INSURANCE COMPA	SGD603645 04/0	LTD Ins Apr 2016	101	General Fund \$22.76
136021	Maus Group	309	April 2016 Svc	101	General Fund \$7,572.10
136022	Menard Cashway Lumber	13771	Parts / Supplies	101	General Fund \$39.78
136023	MN Office of Enterprise Tec	W16020671	State Phones	101	General Fund \$19.24
136023	MN Office of Enterprise Tec	W16020671	State Phones	101	General Fund \$21.80
136023	MN Office of Enterprise Tec	W16020671	State Phones	101	General Fund \$37.71
136023	MN Office of Enterprise Tec	W16020671	State Phones	101	General Fund \$25.65
136023	MN Office of Enterprise Tec	W16020671	State Phones	101	General Fund \$64.13
136023	MN Office of Enterprise Tec	W16020671	State Phones	101	General Fund \$25.65
136023	MN Office of Enterprise Tec	W16020671	State Phones	101	General Fund \$76.95
136023	MN Office of Enterprise Tec	W16020671	State Phones	101	General Fund \$25.65
136025	Pioneer Paper Stock	632249	Recycling Haul Chg	101	General Fund \$59.25
136026	TimeSaver Off Site Sec.	M21977	3/10/16 Econ Dev Meeting	101	General Fund \$169.50
<i>Fund Total</i>					\$21,414.54
136019	LIFE INSURANCE COMPA	SGD603645 04/0	LTD Ins Apr 2016	225	Cemetery \$18.66
<i>Fund Total</i>					\$18.66
135871	IDC Automatic	D317880-IN	Preventative Maint - Door	250	Ramp \$166.50
<i>Fund Total</i>					\$166.50
136017	ECM Publishers	327831	Ord 2016-1630	305	2008A Debt \$129.00
<i>Fund Total</i>					\$129.00
135856	Always Bright Lights	528	Repair - 834 River Ln	600	Electric \$315.00
135858	Border State Electric Suppl	911021205	STRAPS, PIPE, 2 HOLE	600	Electric \$106.86
135858	Border State Electric Suppl	911021205	Inventory	600	Electric \$128.14
135858	Border State Electric Suppl	911021205	STRAPS, PIPE, 2 HOLE	600	Electric \$58.43
135858	Border State Electric Suppl	910998712	3 PHASE SWITCH MOLE	600	Electric \$1,698.42
135858	Border State Electric Suppl	911021205	STRAPS - 2 HOLD RIGID	600	Electric \$45.89
135859	Carr's Tree Service, Inc	93439	Week of 03/21/2016	600	Electric \$3,772.20

**Paid Bill List for Ratification
Bill List for May 2, 2016**

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<i>Check #</i>	<i>Vendor Alpha Name</i>	<i>Invoice #</i>	<i>Description</i>	<i>Fund</i>		<i>Amount</i>
135859	Carr's Tree Service, Inc	93441	Week of 03/21/2016	600	Electric	\$3,757.60
135860	CCP Industries Inc.	IN01664964	Absorbal Wiper	600	Electric	\$473.91
135861	CenturyLink	7634211903 Apr	Communications	600	Electric	\$10.04
135865	Dakota Supply Group	C037451	1000:5 C.T.	600	Electric	\$383.40
135865	Dakota Supply Group	c037450	1000:5 C.T.	600	Electric	\$383.40
135870	Graybar Electric Inc	984348086	WIRE, #6, CU. SO. BARE,	600	Electric	\$272.21
135870	Graybar Electric Inc	984326381	Wire, #4, CU. STR. BARE	600	Electric	\$462.35
135870	Graybar Electric Inc	984326381	Wire, #6, CU.SOL.WP	600	Electric	\$414.64
135870	Graybar Electric Inc	984326381	CABLE, #10, USE CU. 600	600	Electric	\$744.57
135882	Resco	638317-00	BASE, SCREW-IN, LARGE	600	Electric	\$10,542.96
135884	Stuart C Irby Co	S009494110.002	CONDUIT, 3" BORE	600	Electric	\$15,005.25
135884	Stuart C Irby Co	s009494110.001	SWITCHGEAR ARRESTE	600	Electric	\$420.00
135884	Stuart C Irby Co	s009494110.001	PMH BASEMENT	600	Electric	\$3,128.25
135885	Wesco	787021	HEAT SHRINK RAYCHEM	600	Electric	\$255.60
135885	Wesco	797726	HEAT SHRINK RAYCHEM	600	Electric	\$355.00
135885	Wesco	787856	LED SECURITY LIGHT 57	600	Electric	\$1,760.00
135885	Wesco	787021	3 PHASE ENCLOSURE BA	600	Electric	\$710.16
135885	Wesco	787021	BOLT, MACHINE 5/8	600	Electric	\$51.50
135885	Wesco	787021	BOLT,CARRIAGE 3/8	600	Electric	\$104.00
136013	Carr's Tree Service, Inc	94471	Week of 03/28/16	600	Electric	\$4,237.17
136019	LIFE INSURANCE COMPA	SGD603645 04/0	LTD Ins Apr 2016	600	Electric	\$60.84
136019	LIFE INSURANCE COMPA	SGD603645 04/0	LTD Ins Apr 2016	600	Electric	\$298.00
136023	MN Office of Enterprise Tec	W16020671	State Phones	600	Electric	\$76.95
136023	MN Office of Enterprise Tec	W16020671	State Phones	600	Electric	\$615.57
136023	MN Office of Enterprise Tec	W16020671	State Phones	600	Electric	\$19.24
136027	Toyota Lift of Minnesota	S0046856	Forklift	600	Electric	\$24,715.00
Fund Total						\$75,382.55
135861	CenturyLink	7634211903 Apr	Communications	601	Water	\$10.04
135869	Grainger	9005801718	Parts / Supplies	601	Water	\$33.06
135876	Mid America Meter, Inc.	016-2050	Well 4 Meter Repair	601	Water	\$365.00
136016	Dyna Systems	20912698	Galvanized Pipe	601	Water	\$429.49
136019	LIFE INSURANCE COMPA	SGD603645 04/0	LTD Ins Apr 2016	601	Water	\$79.69
136023	MN Office of Enterprise Tec	W16020671	State Phones	601	Water	\$19.24

**Paid Bill List for Ratification
Bill List for May 2, 2016**

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<i>Check #</i>	<i>Vendor Alpha Name</i>	<i>Invoice #</i>	<i>Description</i>	<i>Fund</i>		<i>Amount</i>
136028	US Bank	4252074	Admin Fees	601	Water	\$450.00
						\$1,386.52
<i>Fund Total</i>						
135861	CenturyLink	7634211903	Apr Communications	602	Sewer Treatment	\$10.03
136019	LIFE INSURANCE COMPA	SGD603645	04/0 LTD Ins Apr 2016	602	Sewer Treatment	\$29.74
136023	MN Office of Enterprise Tec	W16020671	State Phones	602	Sewer Treatment	\$19.24
						\$59.01
<i>Fund Total</i>						
135861	CenturyLink	7634213070	Apr Communications	609	Liquor Stores	\$59.00
135874	Liberty Comfort Systems, In	58150	Chiller Tune Up	609	Liquor Stores	\$250.00
135874	Liberty Comfort Systems, In	58861	Replace Fan Motor	609	Liquor Stores	\$450.00
135879	Phillips Wine & Spirits	2938432	Merchandise for Resale	609	Liquor Stores	\$276.96
135881	Republic Services #899	0899-002813908	Mar 2016 BV West	609	Liquor Stores	\$375.22
136019	LIFE INSURANCE COMPA	SGD603645	04/0 LTD Ins Apr 2016	609	Liquor Stores	\$41.04
136019	LIFE INSURANCE COMPA	SGD603645	04/0 LTD Ins Apr 2016	609	Liquor Stores	\$33.90
136023	MN Office of Enterprise Tec	W16020671	State Phones	609	Liquor Stores	\$66.03
136023	MN Office of Enterprise Tec	W16020671	State Phones	609	Liquor Stores	\$66.03
136024	My Alarm Center	7108448	2016 2nd Qtr Maint - West	609	Liquor Stores	\$35.35
						\$1,653.53
<i>Fund Total</i>						
135861	CenturyLink	7635769728	Apr Communications	614	Golf	\$30.11
135862	Cintas	470727259	Uniforms	614	Golf	\$39.29
135862	Cintas	470723873	Uniforms	614	Golf	\$27.11
135862	Cintas	470730644	Uniforms	614	Golf	\$28.03
135880	Reinders, Inc.	3036214-00	Sod Knives	614	Golf	\$61.94
136014	CenturyLink	7633233651	Apr Communications	614	Golf	\$9.03
136014	CenturyLink	7633230326	Apr Communications	614	Golf	\$20.04
136019	LIFE INSURANCE COMPA	SGD603645	04/0 LTD Ins Apr 2016	614	Golf	\$67.05
136023	MN Office of Enterprise Tec	W16020671	State Phones	614	Golf	\$64.13
136023	MN Office of Enterprise Tec	W16020671	State Phones	614	Golf	\$3.85
						\$350.58
<i>Fund Total</i>						
135857	Anoka Lions	04/14/2016	Donation - Recycling Day	617	Recycling	\$300.00
135867	ECM Publishers	331870	Recycling Days Advtsg	617	Recycling	\$69.00
136019	LIFE INSURANCE COMPA	SGD603645	04/0 LTD Ins Apr 2016	617	Recycling	\$17.46
						\$386.46
<i>Fund Total</i>						
135861	CenturyLink	7634211903	Apr Communications	701	Vehicle Maintenance	\$10.04

**Paid Bill List for Ratification
Bill List for May 2, 2016**

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<i>Check #</i>	<i>Vendor Alpha Name</i>	<i>Invoice #</i>	<i>Description</i>	<i>Fund</i>		<i>Amount</i>
135866	East Main Auto & Tire	32891	Oil Change #418	701	Vehicle Maintenance	\$35.95
135877	MN Department of Motor V	04/15/2016 #424	Registration #424	701	Vehicle Maintenance	\$20.75
135877	MN Department of Motor V	04/15/2016 #422	Registration #422	701	Vehicle Maintenance	\$20.75
135877	MN Department of Motor V	04/15/2016 #423	Registration #423	701	Vehicle Maintenance	\$20.75
135883	Royal Tire Inc	303-146604	Repair Flat - Unit 360	701	Vehicle Maintenance	\$432.18
136019	LIFE INSURANCE COMPA	SGD603645 04/0	LTD Ins Apr 2016	701	Vehicle Maintenance	\$39.00
			<i>Fund Total</i>			\$579.42
136020	Marco, Inc	INV3225891	Copier	702	IT	\$635.00
			<i>Fund Total</i>			\$635.00
136012	Anoka Business & Landow	544	Street Light Fund - White	810	Street Light Distric	\$1,430.00
			<i>Fund Total</i>			\$1,430.00
136019	LIFE INSURANCE COMPA	SGD603645 04/0	LTD Ins Apr 2016	830	HRA	\$18.39
			<i>Fund Total</i>			\$18.39
			<i>Grand Total</i>			\$103,610.16

PAYROLL

PP 9

BILL LIST DATE

05/02/16

GROSS PAYROLL - REG

\$307,916.86

LESS EMPLOYEE SHARE OF BENEFITS

\$0.00

\$307,916.86

EMPLOYER SHARE HEALTH INSURANCE

\$0.00

EMPLOYER SHARE FICA & MEDICARE

\$17,548.15

EMPLOYER SHARE PERA

\$30,156.39

\$47,704.54

TOTAL PAYROLL

\$355,621.40

Bill List for May 2, 2016

<i>Check #</i>	<i>Vendor Alpha Name</i>	<i>Invoice #</i>	<i>Description</i>	<i>Fund</i>	<i>Amount</i>
135906	Anoka Co Central Comm	2016-218	2016 1st Qtr State Access Fe	101	General Fund \$630.00
135906	Anoka Co Central Comm	2016-228	Mar 2016 Wireless Internet	101	General Fund \$559.21
135907	Anoka Co Property Reco	123125110136-05/16	Property Tax	101	General Fund \$21.29
135907	Anoka Co Property Reco	013125440104-05/16	Property Tax	101	General Fund \$272.58
135907	Anoka Co Property Reco	013125240037-05/16	Property Tax	101	General Fund \$231.69
135907	Anoka Co Property Reco	00004-0185-05/16	Property Tax	101	General Fund \$4,403.96
135907	Anoka Co Property Reco	313224410063-05/16	Property Tax	101	General Fund \$21.29
135907	Anoka Co Property Reco	073124240016-05/16	Property Tax	101	General Fund \$77.76
135907	Anoka Co Property Reco	063124320120-05/16	Property Tax	101	General Fund \$272.58
135907	Anoka Co Property Reco	363225310065-05/16	Property Tax	101	General Fund \$21.29
135907	Anoka Co Property Reco	123125140065-05/16	Property Tax	101	General Fund \$21.29
135909	Anoka Co Sheriffs Office	04/20/2016	Range Use on 4/19/16	101	General Fund \$125.00
135910	Anoka County Treasury	P160413K	2016 1st Qtr Phone	101	General Fund \$90.26
135910	Anoka County Treasury	P160413K	2016 1st Qtr Phone	101	General Fund \$481.22
135910	Anoka County Treasury	P160413K	2016 1st Qtr Phone	101	General Fund \$18.05
135910	Anoka County Treasury	P160413K	2016 1st Qtr Phone	101	General Fund \$90.26
135910	Anoka County Treasury	P160413K	2016 1st Qtr Phone	101	General Fund \$27.08
135910	Anoka County Treasury	P160413K	2016 1st Qtr Phone	101	General Fund \$27.08
135910	Anoka County Treasury	P160413K	2016 1st Qtr Phone	101	General Fund \$18.05
135910	Anoka County Treasury	P160413K	2016 1st Qtr Phone	101	General Fund \$276.20
135910	Anoka County Treasury	P160413K	2016 1st Qtr Phone	101	General Fund \$297.86
135910	Anoka County Treasury	P160413K	2016 1st Qtr Phone	101	General Fund \$99.29
135910	Anoka County Treasury	P160413K	2016 1st Qtr Phone	101	General Fund \$189.55
135910	Anoka County Treasury	P160413K	2016 1st Qtr Phone	101	General Fund \$225.65
135910	Anoka County Treasury	P160413K	2016 1st Qtr Phone	101	General Fund \$54.16
135910	Anoka County Treasury	P160413K	2016 1st Qtr Phone	101	General Fund \$460.33
135912	Aspen Mills	179603	Uniform - J Houlton	101	General Fund \$58.50
135912	Aspen Mills	179604	Uniform - C Yeager	101	General Fund \$113.60
135912	Aspen Mills	179755	Name Tags	101	General Fund \$73.23
135912	Aspen Mills	179998	Uniform - Whitaker	101	General Fund \$87.75
135912	Aspen Mills	179605	Uniform - J Houlton	101	General Fund \$104.25
135915	Benefit Extras, Inc	66958	Monthly Cobra	101	General Fund \$72.75
135918	Bound Tree Medical, LL	82112439	Supplies	101	General Fund \$721.05
135918	Bound Tree Medical, LL	82112440	Hand Sanitizer	101	General Fund \$119.98
135923	Center Point Energy	80000141517 Apr 16	Gas Utility	101	General Fund \$187.40

Bill List for May 2, 2016

<i>Check #</i>	<i>Vendor Alpha Name</i>	<i>Invoice #</i>	<i>Description</i>	<i>Fund</i>	<i>Amount</i>
135923	Center Point Energy	80000141517 Apr 16	Gas Utility	101	General Fund \$195.86
135923	Center Point Energy	80000141517 Apr 16	Gas Utility	101	General Fund \$1,872.16
135923	Center Point Energy	80000141517 Apr 16	Gas Utility	101	General Fund \$1,058.90
135923	Center Point Energy	80000141517 Apr 16	Gas Utility	101	General Fund \$89.59
135923	Center Point Energy	80000141517 Apr 16	Gas Utility	101	General Fund \$229.14
135923	Center Point Energy	80000141517 Apr 16	Gas Utility	101	General Fund \$242.57
135923	Center Point Energy	80000141517 Apr 16	Gas Utility	101	General Fund \$1,474.55
135923	Center Point Energy	80000141517 Apr 16	Gas Utility	101	General Fund \$187.40
135924	Cintas	470733994	Mats	101	General Fund \$139.02
135924	Cintas	470737342	Uniforms	101	General Fund \$28.03
135924	Cintas	470734001	Uniforms	101	General Fund \$28.03
135924	Cintas	470733996	Mats	101	General Fund \$41.80
135930	Comcast	0226193 Apr 2016	Cable / Internet	101	General Fund \$211.58
135933	Cottens Automotive	191191	Bulbs	101	General Fund \$7.50
135933	Cottens Automotive	190784	Supplies	101	General Fund \$40.06
135933	Cottens Automotive	190786	Parts / Supplies	101	General Fund \$9.44
135933	Cottens Automotive	193591	Spark Plugs	101	General Fund \$10.00
135934	Cutters Choice	6823	Lawn Care - Mad Hatter	101	General Fund \$500.00
135940	ECM Publishers	337051	Personnel - Aquatics	101	General Fund \$269.77
135940	ECM Publishers	337050	Personnel - Police	101	General Fund \$392.40
135940	ECM Publishers	333814	Assessment Notice	101	General Fund \$59.13
135940	ECM Publishers	334139	Personnel - Seasonal Maint	101	General Fund \$205.87
135940	ECM Publishers	334140	Personnel - Appraiser	101	General Fund \$416.92
135940	ECM Publishers	337049	Personnel - Recreate Coord	101	General Fund \$367.87
135942	ECSI	27253	Replace Monitor w/Flat Scree	101	General Fund \$1,297.00
135945	Ferguson Waterworks	0185501	Gaskets	101	General Fund \$47.89
135951	Hirshfield's Paint Mfg	111150	Athletic Field Striping Paint	101	General Fund \$1,444.80
135952	IDC Automatic	D318150-IN	Service door	101	General Fund \$312.88
135953	Innovative Office Solutio	IN1152415	Supplies	101	General Fund \$44.11
135953	Innovative Office Solutio	IN1151799	Supplies	101	General Fund \$0.00
135953	Innovative Office Solutio	IN1142000	Supplies	101	General Fund \$206.44
135953	Innovative Office Solutio	IN1142000	Supplies	101	General Fund \$17.69
135953	Innovative Office Solutio	IN1151799	Supplies	101	General Fund \$53.69
135953	Innovative Office Solutio	IN1153270	Supplies	101	General Fund \$31.78
135953	Innovative Office Solutio	IN1142000	Supplies	101	General Fund \$4.74

Bill List for May 2, 2016

Check #	Vendor Alpha Name	Invoice #	Description	Fund	Amount	
135953	Innovative Office Solutio	IN1144340	Merchandise for Resale	101	General Fund \$146.99	
135953	Innovative Office Solutio	IN1152414	Supplies	101	General Fund \$100.49	
135956	JERRY'S SCHWINN CY	04/07/2016	Bike Repairs	101	General Fund \$405.36	
135957	Jessica Tesdall	04/25/2016	Refund Swim Lessons	101	General Fund \$108.00	
135961	Kimley-Horn & Assoc, In	7639042	Riverfront Restaurant	101	General Fund \$1,260.00	
135964	Lancer Catering	GHN04948	Board Appreciation Dinner	101	General Fund \$2,951.14	
135965	LANO EQUIPMENT	02-361347	Switch / Filters #372-373	101	General Fund \$271.58	
135968	Marco, Inc	INV3275068	Set Up Users	101	General Fund \$66.80	
135970	Menard Cashway Lumbe	13863	men	101	General Fund \$24.67	
135970	Menard Cashway Lumbe	14522	Parts / Supplies	101	General Fund \$17.88	
135970	Menard Cashway Lumbe	14895	Parts / Supplies	101	General Fund \$11.96	
135970	Menard Cashway Lumbe	13849	Supplies	101	General Fund \$13.28	
135972	MG Painting & Service L	1903	Greenhaven Bar	101	General Fund \$550.00	
135973	MN Office of Enterprise	W16030669	State Phones	101	General Fund \$25.65	
135973	MN Office of Enterprise	W16030669	State Phones	101	General Fund \$21.80	
135973	MN Office of Enterprise	W16030669	State Phones	101	General Fund \$25.65	
135973	MN Office of Enterprise	W16030669	State Phones	101	General Fund \$19.24	
135973	MN Office of Enterprise	W16030669	State Phones	101	General Fund \$64.13	
135973	MN Office of Enterprise	W16030669	State Phones	101	General Fund \$40.27	
135973	MN Office of Enterprise	W16030669	State Phones	101	General Fund \$76.95	
135973	MN Office of Enterprise	W16030669	State Phones	101	General Fund \$25.65	
135975	MTI Distributing Compan	1056103-00	Battery for Toro 3500D	101	General Fund \$189.06	
135981	Peterson Shoes	125944	Uniform - Police Dept	101	General Fund \$160.00	
135984	Post Board	04/21/2016	Peace Officer Licenses	101	General Fund \$540.00	
135999	TimeSaver Off Site Sec.	M22037	4/4/16 Council Meeting	101	General Fund \$146.65	
136002	Twin Cities Winnelson C	091597-00	Parts / Supplies	101	General Fund \$168.46	
136010	Window World Twin Citie	04/25/2016	Refund Fee	101	General Fund \$8.00	
					Fund Total	\$29,529.76
135950	Hicken, Scott & Howard	15-139351	Forfeiture - 07 Saturn	210	Police Forfeitur \$864.35	
					Fund Total	\$864.35
135929	Cold Spring Granite Mem	19-41965-Z	Niche Plaque	225	Cemetery \$230.00	
					Fund Total	\$230.00
135907	Anoka Co Property Reco	363225220006-05/16	Property Tax	260	Parking \$1,241.02	
					Fund Total	\$1,241.02
135961	Kimley-Horn & Assoc, In	7721933	Castle Field Plaza	460	Park Improve \$3,000.00	

Bill List for May 2, 2016

Check #	Vendor Alpha Name	Invoice #	Description	Fund	Amount
135961	Kimley-Horn & Assoc, In	7738754	Anoka Station Park	460	Park Improve \$3,800.00
					\$6,800.00
					Fund Total
135905	Anchor Industries Inc.	INV-028753	Funbrella	470	Pool Improve \$7,130.94
					\$7,130.94
					Fund Total
135907	Anoka Co Property Reco	063124240084-05/16	Property Tax	481	Redevelopmen \$791.86
135919	Bradley & Deike, P.A.	34993	Legal Svc	481	Redevelopmen \$36.00
135940	ECM Publishers	333813	TIF and CRTV	481	Redevelopmen \$72.56
135943	Ehlers & Assoc Inc	70207	CRTV/Greens of Anoka TIF	481	Redevelopmen \$1,250.00
					\$2,150.42
					Fund Total
135919	Bradley & Deike, P.A.	34993	Legal Svc	482	Greens of Ano \$36.00
135940	ECM Publishers	333813	TIF and CRTV	482	Greens of Ano \$72.57
135943	Ehlers & Assoc Inc	70207	CRTV/Greens of Anoka TIF	482	Greens of Ano \$1,250.00
135943	Ehlers & Assoc Inc	70206	5 Year Rule Legislation	482	Greens of Ano \$172.50
					\$1,531.07
					Fund Total
135907	Anoka Co Property Reco	00004-2000-05/16	Property Tax	485	Enterprise Par \$5,312.40
135961	Kimley-Horn & Assoc, In	7676951	2nd Ave Parking Lot - Final	485	Enterprise Par \$10,975.00
135961	Kimley-Horn & Assoc, In	7570918	Riverwalk Vision	485	Enterprise Par \$11,643.09
135961	Kimley-Horn & Assoc, In	7600056	2nd Ave Parking Lot	485	Enterprise Par \$16,100.00
					\$44,030.49
					Fund Total
135886	Misc Vendor	000201604226307	02-090080-00	600	Electric \$61.13
135887	Misc Vendor	000201604226308	04-171430-07	600	Electric \$29.16
135888	Misc Vendor	000201604226309	04-255190-05	600	Electric \$15.68
135889	Misc Vendor	000201604226310	12-142020-01	600	Electric \$258.00
135890	Misc Vendor	000201604226311	13-100780-03	600	Electric \$24.55
135891	Misc Vendor	000201604226312	13-141580-03	600	Electric \$51.67
135892	Misc Vendor	000201604226313	13-156760-05	600	Electric \$46.72
135893	Misc Vendor	000201604226314	13-157420-07	600	Electric \$27.18
135894	Misc Vendor	000201604226315	13-275070-06	600	Electric \$120.94
135895	Misc Vendor	000201604226316	13-570740-05	600	Electric \$13.78
135896	Misc Vendor	000201604226317	13-572810-06	600	Electric \$57.13
135897	Misc Vendor	000201604226318	13-628680-04	600	Electric \$22.02
135898	Misc Vendor	000201604226319	13-628810-02	600	Electric \$39.11
135899	Misc Vendor	000201604226320	13-725870-04	600	Electric \$53.89
135900	Misc Vendor	000201604226321	13-727480-02	600	Electric \$30.57
135901	Misc Vendor	000201604226322	21-330490-22	600	Electric \$22.77

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<i>Check #</i>	<i>Vendor Alpha Name</i>	<i>Invoice #</i>	<i>Description</i>	<i>Fund</i>		<i>Amount</i>
135902	Misc Vendor	000201604226323	21-605920-04	600	Electric	\$70.76
135907	Anoka Co Property Reco	063124240089-05/16	Property Tax	600	Electric	\$90.86
135910	Anoka County Treasury	P160413K	2016 1st Qtr Phone	600	Electric	\$144.42
135910	Anoka County Treasury	P160413K	2016 1st Qtr Phone	600	Electric	\$36.10
135923	Center Point Energy	80000141517 Apr 16	Gas Utility	600	Electric	\$957.57
135924	Cintas	470733991	Uniforms	600	Electric	\$124.28
135924	Cintas	470737333	Uniforms	600	Electric	\$121.48
135937	Dakota Supply Group	C076444	Supplies	600	Electric	\$193.52
135940	ECM Publishers	337048	Personnel - Electric Intern	600	Electric	\$343.35
135946	First-Shred	181438	Executive Bin	600	Electric	\$34.80
135970	Menard Cashway Lumbe	14843	Parts / Supplies	600	Electric	\$3.68
135973	MN Office of Enterprise	W16030669	State Phones	600	Electric	\$76.95
135973	MN Office of Enterprise	W16030669	State Phones	600	Electric	\$615.57
135973	MN Office of Enterprise	W16030669	State Phones	600	Electric	\$19.24
135985	Power System Engineeri	9019146	March 2016 Engineering	600	Electric	\$1,550.00
135995	Stuart C Irby Co	S009494110.004	CONDUIT, 1 1/4" BORE	600	Electric	\$855.00
135995	Stuart C Irby Co	S009494110.004	CONDUIT, 3" BORE	600	Electric	\$5,001.75
135995	Stuart C Irby Co	S009494110.004	CONDUIT, 4" BORE	600	Electric	\$4,802.96
135995	Stuart C Irby Co	S009494110.006	CONDUIT, 5" BORE	600	Electric	\$9,887.59
135996	The Home Depot	5014696	Supplies	600	Electric	\$233.53
136004	USIC Locating Services,	173513	Mar 2016 Locating Svv	600	Electric	\$1,863.39
136005	Utility Truck Services	FINV-0000937	Aerial	600	Electric	\$14.60
136009	Wesco	802223	HEAT SHRINK RAYCHEM,	600	Electric	\$295.00
<i>Fund Total</i>						\$28,210.70
135907	Anoka Co Property Reco	063124240089-05/16	Property Tax	601	Water	\$90.86
135923	Center Point Energy	80000141517 Apr 16	Gas Utility	601	Water	\$2,181.25
135966	Lockridge Grindal Nauen	78954	Wells 1 and 2	601	Water	\$199.50
135970	Menard Cashway Lumbe	14029	Supplies	601	Water	\$49.60
135970	Menard Cashway Lumbe	14271	Supplies	601	Water	\$89.78
135971	Metro Council Environme	0001054079	Permit Fee	601	Water	\$425.00
135973	MN Office of Enterprise	W16030669	State Phones	601	Water	\$19.24
135979	Pace Analytical Services	16100134560	Merchandise for Resale	601	Water	\$195.00
135993	Short Elliott Hendrickson	313647	2016 Antenna Project	601	Water	\$2,807.60
136003	United Refrigeration, Inc.	50468339-00	Parts / Supplies	601	Water	\$1,142.01
136004	USIC Locating Services,	173524	Mar 2016 Locating Svc	601	Water	\$601.88

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Check #	Vendor Alpha Name	Invoice #	Description	Fund	Amount
					\$7,801.72
Fund Total					
135907	Anoka Co Property Reco	063124240089-05/16	Property Tax	602	Sewer Treatm \$90.86
135923	Center Point Energy	80000141517 Apr 16	Gas Utility	602	Sewer Treatm \$187.40
135924	Cintas	470733993	Uniforms	602	Sewer Treatm \$106.20
135971	Metro Council Environme	0001053834	Waste Water Svc	602	Sewer Treatm \$114,320.72
135973	MN Office of Enterprise	W16030669	State Phones	602	Sewer Treatm \$19.24
136004	USIC Locating Services,	173524	Mar 2016 Locating Svc	602	Sewer Treatm \$601.88
136007	W.W. Goetsch Assoc. In	96111	Parts for Fremont Lift	602	Sewer Treatm \$2,251.91
Fund Total					\$117,578.21
135970	Menard Cashway Lumbe	14428	Supplies	603	Storm Water \$222.91
Fund Total					\$222.91
135907	Anoka Co Property Reco	073124430088-05/16	Property Tax	609	Liquor Stores \$69.14
135907	Anoka Co Property Reco	013125220084-05/16	Property Tax	609	Liquor Stores \$77.76
135911	Aramark	1718443916	Mats / Misc	609	Liquor Stores \$45.31
135911	Aramark	1718444315	Mats / Misc	609	Liquor Stores \$59.03
135914	Bellboy Corporation	53195000	Merchandise for Resale	609	Liquor Stores \$80.00
135914	Bellboy Corporation	53140200	Merchandise for Resale	609	Liquor Stores \$720.00
135914	Bellboy Corporation	53090200	Merchandise for Resale	609	Liquor Stores \$6.20
135914	Bellboy Corporation	53090200	Merchandise for Resale	609	Liquor Stores \$566.38
135914	Bellboy Corporation	93748300 CM	Merchandise for Resale	609	Liquor Stores (\$21.00)
135914	Bellboy Corporation	53090100	Merchandise for Resale	609	Liquor Stores \$377.15
135914	Bellboy Corporation	93784300	Merchandise for Resale	609	Liquor Stores \$198.21
135914	Bellboy Corporation	53090100	Merchandise for Resale	609	Liquor Stores \$6.20
135914	Bellboy Corporation	93784300	Merchandise for Resale	609	Liquor Stores \$94.52
135914	Bellboy Corporation	53195700	Merchandise for Resale	609	Liquor Stores \$597.05
135914	Bellboy Corporation	53195700	Merchandise for Resale	609	Liquor Stores \$9.30
135914	Bellboy Corporation	93735900	Merchandise for Resale	609	Liquor Stores \$16.69
135914	Bellboy Corporation	53195000	Merchandise for Resale	609	Liquor Stores \$1.67
135916	Bernick's	290641	Merchandise for Resale	609	Liquor Stores \$64.40
135916	Bernick's	290642	Merchandise for Resale	609	Liquor Stores \$111.35
135920	Breakthru Beverage Min	1080456404	Merchandise for Resale	609	Liquor Stores \$768.00
135920	Breakthru Beverage Min	2080131849 CM	Merchandise for Resale	609	Liquor Stores (\$56.94)
135920	Breakthru Beverage Min	2080131850 CM	Merchandise for Resale	609	Liquor Stores (\$30.76)
135920	Breakthru Beverage Min	1080456283	Merchandise for Resale	609	Liquor Stores \$1,295.53
135920	Breakthru Beverage Min	1080456403	Merchandise for Resale	609	Liquor Stores \$2,658.62

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<i>Check #</i>	<i>Vendor Alpha Name</i>	<i>Invoice #</i>	<i>Description</i>	<i>Fund</i>	<i>Amount</i>
135920	Breakthru Beverage Min	1080459023	Merchandise for Resale	609	Liquor Stores \$2,082.99
135920	Breakthru Beverage Min	1080459104	Merchandise for Resale	609	Liquor Stores \$43.33
135920	Breakthru Beverage Min	1080459216	Merchandise for Resale	609	Liquor Stores \$2,082.99
135920	Breakthru Beverage Min	1080459217	Merchandise for Resale	609	Liquor Stores \$129.99
135920	Breakthru Beverage Min	1080456344	Merchandise for Resale	609	Liquor Stores \$1,304.00
135923	Center Point Energy	80000141517 Apr 16	Gas Utility	609	Liquor Stores \$209.93
135923	Center Point Energy	80000141517 Apr 16	Gas Utility	609	Liquor Stores \$155.40
135928	Coca-Cola Bottling Comp	0198218609	Merchandise for Resale	609	Liquor Stores \$284.28
135930	Comcast	0231342 Apr 2016	Internet	609	Liquor Stores \$106.96
135935	Dahlheimer Beverage, L	1197067	Merchandise for Resale	609	Liquor Stores \$3,344.35
135935	Dahlheimer Beverage, L	124799	Merchandise for Resale	609	Liquor Stores \$28.60
135935	Dahlheimer Beverage, L	124735	Merchandise for Resale	609	Liquor Stores \$268.80
135935	Dahlheimer Beverage, L	124734	Merchandise for Resale	609	Liquor Stores \$336.00
135935	Dahlheimer Beverage, L	1197147	Merchandise for Resale	609	Liquor Stores \$80.00
135935	Dahlheimer Beverage, L	1197134	Merchandise for Resale	609	Liquor Stores \$285.60
135935	Dahlheimer Beverage, L	1197032 CM	Merchandise for Resale	609	Liquor Stores (\$78.80)
135935	Dahlheimer Beverage, L	124883	Merchandise for Resale	609	Liquor Stores \$25.80
135935	Dahlheimer Beverage, L	1197018	Merchandise for Resale	609	Liquor Stores \$5,782.47
135935	Dahlheimer Beverage, L	125165	Merchandise for Resale	609	Liquor Stores \$87.30
135935	Dahlheimer Beverage, L	1197103 CM	Merchandise for Resale	609	Liquor Stores (\$38.80)
135935	Dahlheimer Beverage, L	121387 CM	Merchandise for Resale	609	Liquor Stores (\$12.00)
135935	Dahlheimer Beverage, L	124951 CM	Merchandise for Resale	609	Liquor Stores (\$30.40)
135935	Dahlheimer Beverage, L	125369 CM	Merchandise for Resale	609	Liquor Stores (\$25.60)
135935	Dahlheimer Beverage, L	124876	Merchandise for Resale	609	Liquor Stores \$25.80
135935	Dahlheimer Beverage, L	1197100	Merchandise for Resale	609	Liquor Stores \$4,993.85
135940	ECM Publishers	338873	Better Value Flyers	609	Liquor Stores \$9.62
135940	ECM Publishers	334138	Better Value Advtsg	609	Liquor Stores \$244.13
135940	ECM Publishers	334138	Better Value Advtsg	609	Liquor Stores \$244.12
135940	ECM Publishers	335283	Better Value Flyers	609	Liquor Stores \$9.62
135940	ECM Publishers	335283	Better Value Flyers	609	Liquor Stores \$9.62
135940	ECM Publishers	337047	Personnel - Liquor Store	609	Liquor Stores \$294.30
135940	ECM Publishers	338873	Better Value Flyers	609	Liquor Stores \$9.62
135948	Granite City Jobbing Co.	3614	Merchandise for Resale	609	Liquor Stores \$96.41
135948	Granite City Jobbing Co.	3530	Merchandise for Resale	609	Liquor Stores \$39.20
135948	Granite City Jobbing Co.	3614	Merchandise for Resale	609	Liquor Stores \$1,479.39

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<i>Check #</i>	<i>Vendor Alpha Name</i>	<i>Invoice #</i>	<i>Description</i>	<i>Fund</i>	<i>Amount</i>
135948	Granite City Jobbing Co.	4372	Merchandise for Resale	609	Liquor Stores \$2,621.43
135948	Granite City Jobbing Co.	4372	Merchandise for Resale	609	Liquor Stores \$43.16
135948	Granite City Jobbing Co.	4372	Merchandise for Resale	609	Liquor Stores \$93.32
135953	Innovative Office Solutio	IN1151799	Supplies	609	Liquor Stores \$103.58
135955	J.J. Taylor Distributing C	2482451	Merchandise for Resale	609	Liquor Stores \$287.25
135955	J.J. Taylor Distributing C	2491385	Merchandise for Resale	609	Liquor Stores \$934.65
135955	J.J. Taylor Distributing C	2491363	Merchandise for Resale	609	Liquor Stores \$1,831.10
135955	J.J. Taylor Distributing C	2491362	Merchandise for Resale	609	Liquor Stores \$1,954.93
135955	J.J. Taylor Distributing C	2491386	Merchandise for Resale	609	Liquor Stores \$287.45
135958	Johnson Bros Liquor Co	5411832	Merchandise for Resale	609	Liquor Stores \$2,750.05
135958	Johnson Bros Liquor Co	5411833	Merchandise for Resale	609	Liquor Stores \$1,070.00
135958	Johnson Bros Liquor Co	570031 CM	Merchandise for Resale	609	Liquor Stores (\$10.00)
135958	Johnson Bros Liquor Co	569936 CM	Merchandise for Resale	609	Liquor Stores (\$6.75)
135958	Johnson Bros Liquor Co	569935 CM	Merchandise for Resale	609	Liquor Stores (\$30.00)
135958	Johnson Bros Liquor Co	569830 CM	Merchandise for Resale	609	Liquor Stores (\$35.97)
135958	Johnson Bros Liquor Co	5417193	Merchandise for Resale	609	Liquor Stores \$947.70
135958	Johnson Bros Liquor Co	5417194	Merchandise for Resale	609	Liquor Stores \$1,724.35
135958	Johnson Bros Liquor Co	569828 CM	Merchandise for Resale	609	Liquor Stores (\$3.55)
135958	Johnson Bros Liquor Co	5417197	Merchandise for Resale	609	Liquor Stores \$108.00
135958	Johnson Bros Liquor Co	570032 CM	Merchandise for Resale	609	Liquor Stores (\$31.98)
135958	Johnson Bros Liquor Co	5411830	Merchandise for Resale	609	Liquor Stores \$304.00
135958	Johnson Bros Liquor Co	569827 CM	Merchandise for Resale	609	Liquor Stores (\$92.25)
135958	Johnson Bros Liquor Co	569517 CM	Merchandise for Resale	609	Liquor Stores (\$36.63)
135958	Johnson Bros Liquor Co	5417196	Merchandise for Resale	609	Liquor Stores \$1,203.85
135958	Johnson Bros Liquor Co	569829 CM	Merchandise for Resale	609	Liquor Stores (\$6.29)
135958	Johnson Bros Liquor Co	5411828	Merchandise for Resale	609	Liquor Stores \$3,471.65
135958	Johnson Bros Liquor Co	5411831	Merchandise for Resale	609	Liquor Stores \$597.00
135958	Johnson Bros Liquor Co	5417195	Merchandise for Resale	609	Liquor Stores \$1,067.70
135958	Johnson Bros Liquor Co	5411827	Merchandise for Resale	609	Liquor Stores \$894.50
135958	Johnson Bros Liquor Co	570874 CM	Merchandise for Resale	609	Liquor Stores (\$26.30)
135958	Johnson Bros Liquor Co	570873 CM	Merchandise for Resale	609	Liquor Stores (\$19.44)
135958	Johnson Bros Liquor Co	570286 CM	Merchandise for Resale	609	Liquor Stores (\$10.00)
135958	Johnson Bros Liquor Co	5411829	Merchandise for Resale	609	Liquor Stores \$21.99
135967	M. Amundson LLP	214673	Merchandise for Resale	609	Liquor Stores \$74.66
135967	M. Amundson LLP	214673	Merchandise for Resale	609	Liquor Stores \$166.00

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<i>Check #</i>	<i>Vendor Alpha Name</i>	<i>Invoice #</i>	<i>Description</i>	<i>Fund</i>	<i>Amount</i>
135967	M. Amundson LLP	214673	Merchandise for Resale	609	Liquor Stores \$800.80
135973	MN Office of Enterprise	W16030669	State Phones	609	Liquor Stores \$65.23
135973	MN Office of Enterprise	W16030669	State Phones	609	Liquor Stores \$65.23
135976	My Alarm Center	7167212	05/16 - 07/16 BV East	609	Liquor Stores \$306.05
135978	New France Wine Comp	109002	Merchandise for Resale	609	Liquor Stores \$1.50
135978	New France Wine Comp	109002	Merchandise for Resale	609	Liquor Stores \$88.00
135980	Paustis & Sons	8542635-IN	Merchandise for Resale	609	Liquor Stores \$168.00
135980	Paustis & Sons	8543646-IN	Merchandise for Resale	609	Liquor Stores \$156.01
135980	Paustis & Sons	8542635-IN	Merchandise for Resale	609	Liquor Stores \$2.25
135980	Paustis & Sons	8544568-IN	Merchandise for Resale	609	Liquor Stores \$15.00
135980	Paustis & Sons	8543646-IN	Merchandise for Resale	609	Liquor Stores \$7.00
135980	Paustis & Sons	8543650-IN	Merchandise for Resale	609	Liquor Stores \$124.00
135980	Paustis & Sons	8543650-IN	Merchandise for Resale	609	Liquor Stores \$7.00
135980	Paustis & Sons	8544568-IN	Merchandise for Resale	609	Liquor Stores \$642.84
135982	Phillips Wine & Spirits	235508 CM	Merchandise for Resale	609	Liquor Stores (\$32.00)
135982	Phillips Wine & Spirits	235507 CM	Merchandise for Resale	609	Liquor Stores (\$32.00)
135982	Phillips Wine & Spirits	234601 CM	Merchandise for Resale	609	Liquor Stores (\$96.00)
135982	Phillips Wine & Spirits	2956410	Merchandise for Resale	609	Liquor Stores \$693.50
135982	Phillips Wine & Spirits	2956412	Merchandise for Resale	609	Liquor Stores \$105.50
135982	Phillips Wine & Spirits	2956413	Merchandise for Resale	609	Liquor Stores \$232.99
135982	Phillips Wine & Spirits	2957160	Merchandise for Resale	609	Liquor Stores \$120.00
135982	Phillips Wine & Spirits	2957161	Merchandise for Resale	609	Liquor Stores \$120.00
135982	Phillips Wine & Spirits	2960105	Merchandise for Resale	609	Liquor Stores \$1,082.90
135982	Phillips Wine & Spirits	2960107	Merchandise for Resale	609	Liquor Stores \$1,279.79
135982	Phillips Wine & Spirits	2960108	Merchandise for Resale	609	Liquor Stores \$592.96
135982	Phillips Wine & Spirits	2956411	Merchandise for Resale	609	Liquor Stores \$560.91
135982	Phillips Wine & Spirits	2960106	Merchandise for Resale	609	Liquor Stores \$856.96
135989	Red Bull Distribution Co	K-15929151	Merchandise for Resale	609	Liquor Stores \$248.50
135989	Red Bull Distribution Co	K-152923164	Merchandise for Resale	609	Liquor Stores \$189.50
135990	RJM Distributing Inc.	IND010242	Merchandise for Resale	609	Liquor Stores \$48.00
135990	RJM Distributing Inc.	IND010242	Merchandise for Resale	609	Liquor Stores \$14.75
135991	Shamrock Group, Inc	1992057	Merchandise for Resale	609	Liquor Stores \$80.80
135991	Shamrock Group, Inc	1992054	Merchandise for Resale	609	Liquor Stores \$60.80
135994	Southern Wine & Spirits	1397927	Merchandise for Resale	609	Liquor Stores \$398.00
135994	Southern Wine & Spirits	1395539	Merchandise for Resale	609	Liquor Stores \$2,744.63

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<i>Check #</i>	<i>Vendor Alpha Name</i>	<i>Invoice #</i>	<i>Description</i>	<i>Fund</i>	<i>Amount</i>
135994	Southern Wine & Spirits	1395540	Merchandise for Resale	609	Liquor Stores \$252.00
135994	Southern Wine & Spirits	1395541	Merchandise for Resale	609	Liquor Stores \$2,561.66
135994	Southern Wine & Spirits	1397926	Merchandise for Resale	609	Liquor Stores \$2,592.85
135994	Southern Wine & Spirits	1397928	Merchandise for Resale	609	Liquor Stores \$910.49
135994	Southern Wine & Spirits	1397929	Merchandise for Resale	609	Liquor Stores \$374.75
135994	Southern Wine & Spirits	1395542	Merchandise for Resale	609	Liquor Stores \$294.00
135997	The Wine Company	422902-00	Merchandise for Resale	609	Liquor Stores \$92.00
135997	The Wine Company	422902-00	Merchandise for Resale	609	Liquor Stores \$5.00
135998	Thorpe Dist. Company	1067287	Merchandise for Resale	609	Liquor Stores \$9,059.75
135998	Thorpe Dist. Company	1067288	Merchandise for Resale	609	Liquor Stores \$8,587.99
135998	Thorpe Dist. Company	1063952	Merchandise for Resale	609	Liquor Stores \$14.00
135998	Thorpe Dist. Company	1063952	Merchandise for Resale	609	Liquor Stores \$1,895.16
135998	Thorpe Dist. Company	1063951	Merchandise for Resale	609	Liquor Stores \$1,649.41
135998	Thorpe Dist. Company	00040102 CM	Merchandise for Resale	609	Liquor Stores (\$43.75)
136011	Wine Merchants	7077095	Merchandise for Resale	609	Liquor Stores \$108.00
<i>Fund Total</i>					\$93,944.55
135907	Anoka Co Property Reco	00004-0185-05/16	Property Tax	614	Golf \$3,322.28
135907	Anoka Co Property Reco	013125120036-05/16	Property Tax	614	Golf \$69.14
135907	Anoka Co Property Reco	013125240037-05/16	Property Tax	614	Golf \$40.89
135910	Anoka County Treasury	P160413K	2016 1st Qtr Phone	614	Golf \$48.74
135917	Bloverse, Inc	67467	AquaSpere	614	Golf \$339.55
135921	Callaway Golf	926689110	Merchandise for Resale	614	Golf \$1,282.20
135921	Callaway Golf	926687016	Merchandise for Resale	614	Golf \$123.95
135921	Callaway Golf	926690303	Merchandise for Resale	614	Golf \$1,515.18
135921	Callaway Golf	926699725	Merchandise for Resale	614	Golf \$307.60
135923	Center Point Energy	80000141517 Apr 16	Gas Utility	614	Golf \$272.08
135923	Center Point Energy	80000141517 Apr 16	Gas Utility	614	Golf \$186.87
135924	Cintas	470734001	Uniforms	614	Golf \$28.03
135924	Cintas	470737342	Uniforms	614	Golf \$28.03
135926	Cleveland Golf	4657190 SO	Merchandise for Resale	614	Golf \$752.10
135927	Clic Gear USA	804669-00	Merchandise for Resale	614	Golf \$66.50
135930	Comcast	0226193 Apr 2016	Cable / Internet	614	Golf \$26.33
135933	Cottens Automotive	192624	Batteries	614	Golf \$3.21
135947	Grainger	9077219518	Supplies	614	Golf \$134.88
135953	Innovative Office Solutio	IN1151799	Supplies	614	Golf \$43.22

Bill List for May 2, 2016

6.1

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<i>Check #</i>	<i>Vendor Alpha Name</i>	<i>Invoice #</i>	<i>Description</i>	<i>Fund</i>		<i>Amount</i>
135963	Lancer Catering	03/31/2016	March 2016 Sales	614	Golf	\$65.01
135970	Menard Cashway Lumbe	14546	Parts / Supplies	614	Golf	\$29.06
135973	MN Office of Enterprise	W16030669	State Phones	614	Golf	\$64.13
135973	MN Office of Enterprise	W16030669	State Phones	614	Golf	\$3.85
135975	MTI Distributing Compan	1056533-00	Parts / Supplies	614	Golf	\$229.90
135975	MTI Distributing Compan	1056516-00	Parts / Supplies	614	Golf	\$241.79
135987	Pukka Inc	BU00904-IN	Merchandise for Resale	614	Golf	\$588.00
135996	The Home Depot	7012104	Paint	614	Golf	\$137.32
135996	The Home Depot	14147	Supplies	614	Golf	\$171.69
136000	Tiremaxx Service Center	168810	Tires	614	Golf	\$840.00
136001	Titleist	902298203	Merchandise for Resale	614	Golf	\$75.53
136001	Titleist	902120413	Merchandise for Resale	614	Golf	\$5,484.42
136001	Titleist	902219185	Merchandise for Resale	614	Golf	\$474.40
136001	Titleist	902208875	Merchandise for Resale	614	Golf	\$117.00
136001	Titleist	902111582	Merchandise for Resale	614	Golf	\$376.51
136001	Titleist	902086966	Merchandise for Resale	614	Golf	\$3,407.06
136001	Titleist	902186920	Merchandise for Resale	614	Golf	\$760.94
136001	Titleist	902128257	Merchandise for Resale	614	Golf	\$68.99
136001	Titleist	902086962	Merchandise for Resale	614	Golf	\$2,712.74
136006	Vision Perfect Software, I	10121	Remote VGA Converter	614	Golf	\$112.00
Fund Total						\$24,551.12
135904	AmeriMark Direct	30902	Recycling Bags	617	Recycling	\$1,201.08
135910	Anoka County Treasury	P160413K	2016 1st Qtr Phone	617	Recycling	\$18.05
135940	ECM Publishers	334268	Recycling Days Ad	617	Recycling	\$69.00
135940	ECM Publishers	337052	Personnel - Recycling Intern	617	Recycling	\$441.45
135940	ECM Publishers	337656	Online Advtsg - Recycling	617	Recycling	\$69.00
Fund Total						\$1,798.58
135923	Center Point Energy	80000141517 Apr 16	Gas Utility	701	Vehicle Mainte	\$281.10
135924	Cintas	470733995	Mats / Misc	701	Vehicle Mainte	\$85.34
135931	Continental Research Co	434020-CRC-1	Creeper Lube	701	Vehicle Mainte	\$233.61
135932	Cornerstone	16143233	Replace Motor Mount	701	Vehicle Mainte	\$361.81
135933	Cottens Automotive	192687	Parts / Supplies	701	Vehicle Mainte	\$33.36
135933	Cottens Automotive	191921	Parts / Supplies	701	Vehicle Mainte	\$8.94
135933	Cottens Automotive	1921211	Parts / Supplies	701	Vehicle Mainte	\$86.64
135933	Cottens Automotive	192602 CM	Parts / Supplies	701	Vehicle Mainte	(\$56.68)

Bill List for May 2, 2016

<i>Check #</i>	<i>Vendor Alpha Name</i>	<i>Invoice #</i>	<i>Description</i>	<i>Fund</i>	<i>Amount</i>
135933	Cottens Automotive	188264 CM	Thread Rod	701	Vehicle Mainte (\$8.03)
135933	Cottens Automotive	191656	Parts / Supplies	701	Vehicle Mainte \$20.76
135938	Dehn Oil Company Inc	25082972	Gasoline / Diesel	701	Vehicle Mainte \$7,888.72
135938	Dehn Oil Company Inc	25082805	Gasahol	701	Vehicle Mainte \$9,242.78
135938	Dehn Oil Company Inc	25082804	Diesel	701	Vehicle Mainte \$3,569.14
135939	East Main Auto & Tire	32907	Service #414	701	Vehicle Mainte \$1,186.03
135939	East Main Auto & Tire	32948	Oil Change/Wiper Blades #49	701	Vehicle Mainte \$79.90
135939	East Main Auto & Tire	33036	Oil Change Unit 420	701	Vehicle Mainte \$35.95
135944	Factory Motor Parts Co.	6-1440193	Parts for Crown Vic	701	Vehicle Mainte \$234.39
135954	Interstate All Battery Cen	1901201004469	Supplies	701	Vehicle Mainte \$48.12
135954	Interstate All Battery Cen	1901201004496	Parts / Supplies	701	Vehicle Mainte \$167.95
135962	Kolstad Company	488929	Service Sterling #799	701	Vehicle Mainte \$148.72
135962	Kolstad Company	T20224	Service F350	701	Vehicle Mainte \$5,650.00
135965	LANO EQUIPMENT	02-361405	Temper Tinted Glass	701	Vehicle Mainte \$261.80
135977	Nelson Auto Center	F6564	Police Interceptor #423	701	Vehicle Mainte \$26,805.95
135977	Nelson Auto Center	F6565	Police Interceptor #424	701	Vehicle Mainte \$26,805.95
135977	Nelson Auto Center	F6563	Nelson Auto Center	701	Vehicle Mainte \$26,805.95
135986	Powerplan	P03273	Wet Charged Battery	701	Vehicle Mainte \$290.79
135988	Quality Forklift Inc.	T81266	Service Toyota	701	Vehicle Mainte \$145.57
135988	Quality Forklift Inc.	T81077	Service Nissan	701	Vehicle Mainte \$210.38
136008	Warning Systems Inc,	3117	Light Bar Unit 424	701	Vehicle Mainte \$1,750.00
136008	Warning Systems Inc,	3128	Pushbumper for 422/423/424	701	Vehicle Mainte \$1,140.25
136008	Warning Systems Inc,	3116	Light Bar Unit 423	701	Vehicle Mainte \$1,750.00
136008	Warning Systems Inc,	3115	Light Bar Unit 422	701	Vehicle Mainte \$1,750.00
Fund Total					\$117,015.19
135903	Achieve Services, Inc.	10676	On Site Labor - Gary Houdek	702	IT \$1,215.00
135910	Anoka County Treasury	P160413K	2016 1st Qtr Phone	702	IT \$27.08
135922	CDW Government	CRZ8733	Dell CTO Opti	702	IT \$4,333.00
135925	City of Roseville	0221315	Mar 2016 IT Svc	702	IT \$13,641.33
135925	City of Roseville	0221376	Adobe Subscription	702	IT \$940.00
135969	Master Technology Grou	507624	Cables - Telephone Upgrade	702	IT \$390.00
135992	SHI International Corp	B04802615	Office Pro Plus	702	IT \$332.00
Fund Total					\$20,878.41
135949	HealthPartners INS	65090737	Health Insurance - Apr 2016	715	Insurance \$55,868.55
Fund Total					\$55,868.55

Bill List for May 2, 2016

<i>Check # Vendor Alpha Name</i>	<i>Invoice #</i>	<i>Description</i>	<i>Fund</i>	<i>Fund</i>	<i>Amount</i>
135974 MN UI Fund	5113236 04/01/16	YF Unemployment Insurance	801	Youth First	\$456.00
		<i>Fund Total</i>			\$456.00
135910 Anoka County Treasury	P160413K	2016 1st Qtr Phone	830	HRA	\$36.10
		<i>Fund Total</i>			\$36.10
135913 Bauer Services Inc.	5931	Yard Clean Up	847	South Busines	\$200.00
		<i>Fund Total</i>			\$200.00
		<i>Grand Total</i>			\$562,070.09

COUNCIL MEMO FORM

6.2

Meeting Date	May 2, 2016
Agenda Section	Consent Agenda
Item Description	Monthly Council Calendars
Submitted By	Amy Oehlers, City Clerk

CONSENT AGENDA

Consent agenda contains several separate items which are acted upon by the Council in one motion. Upon request, any Consent Agenda item may be removed, and if necessary, placed somewhere else on the agenda or on a future agenda for Council discussion & action.

BACKGROUND INFORMATION

Attached are the proposed meeting calendars/schedule(s).

FINANCIAL IMPACT

None.

COUNCIL ACTION REQUESTED

Approval of the Consent Agenda will mean approval of the City Council Calendars/Schedule(s), as may be amended from time to time.

ANOKA CITY COUNCIL CALENDAR



Monday	02	Regular Meeting/City Council	City Hall Council Chambers	7:00 p.m.
Tuesday	03*	Police Department Awards Ceremony	Anoka Public Safety Center	6:00 p.m.
Thursday	05*	Ribbon Cutting Ceremony; Chema Malu and Monica's Closet	208 E Main St, Anoka	10:00 a.m.
Fri/Sat	06-07*	Diva Days	Downton Anoka	TBD
Wednesday	11*	County Police Memorial Service	Anoka County Govt Center	Noon - 1:00 p.m.
Thursday	19*	Employee Appreciation Breakfast	Sparky's Café, 12 Bridge Sq, Anoka	7:00 a.m. - 8:30 a.m.
Thursday	19*	Fire Department Awards Ceremony	Champlin City Hall	6:00 p.m.
Monday	16	Regular Meeting/City Council	City Hall Council Chambers	7:00 p.m.
Saturday	21*	Walk A Mile In Her Shoes Event	Anoka City Hall Plaza	10:00 a.m. - 1:00 p.m.
Monday	23	City Council Worksession	Council Worksession Room	5:00 p.m.
Monday	30	Closed for Memorial Day	City Offices	All Day

THIS CALENDAR IS POSTED IN ORDER TO COMPLY WITH THE OPEN MEETING LAW, WHICH INDICATES A MEETING MUST BE POSTED WHEN A MAJORITY OF COUNCILMEMBERS WILL OR MAY BE IN ATTENDANCE. NO OFFICIAL BUSINESS OF NON-REGULAR OR NON-SPECIAL MEETINGS WILL BE CONDUCTED AND NO RECORD OF THOSE EVENT WILL BE KEPT.

**ASTERIK DATES ARE OPTIONAL MEETINGS FOR THE CITY COUNCIL AND QUORUMS MAY OR MAY NOT BE PRESENT.*

ANOKA CITY COUNCIL CALENDAR



Monday	06	Regular Meeting/City Council	City Hall Council Chambers	7:00 p.m.
Friday	10*	Lancer Classic Charity Golf Tournament	Green Have Golf Course & Event Ctr 2800 Greenhaven Rd, Anoka	10:30 a.m.
Monday	20	Regular Meeting/City Council	City Hall Council Chambers	7:00 p.m.
Monday	27	City Council Worksession	Council Worksession Room	5:00 p.m.

COUNCIL MEMO FORM

7.1.A

Meeting Date	May 2, 2016
Agenda Section	7. Reports of Officers, Boards & Commissions
Item Description	ORD/Rezoning; 6058 Hwy 10 (2 nd Reading)
Submitted By	Chuck Darnell, Associate Planner

BACKGROUND INFORMATION

The City of Anoka is proposing to change the zoning classification of a city-owned property located at 6058 Highway 10. The property is currently zoned R-6 Manufactured Home. Staff has proposed that the zoning classification be changed to R-3 Medium and High Density Residential.

The Planning Commission considered and recommended approval of the change in zoning classification at the April 5, 2016 regular meeting. The Planning Commission determined that the rezoning met the criteria required to change the zoning classification of the property, based on the following findings:

- 1) The proposed change addresses a changing condition, as the previous use of the property as a manufactured home park no longer exists and the property is now vacant.
- 2) The proposed amendment is consistent with the Comprehensive Plan policies, in that the area is guided for High Density Residential land use and the proposed R-3 zoning district would allow for that type of development to occur.
- 3) The subject property is located adjacent to a variety of different land uses and zoning districts, and the rezoning will allow for development of a form that is more consistent with the surrounding neighborhood, therefore protecting the health, safety, and welfare of the public.
- 4) The City and other service providers will be able to provide sufficient public safety, transportation, and utility facilities to the subject property.
- 5) The area of the property is large enough to manage stormwater on site and any future development will meet City Code regulations, which will not result in any adverse impacts to the natural environment.
- 6) The subject property is located adjacent to a variety of different land uses and zoning districts, and the rezoning will allow for development of a form that is more consistent with the surrounding neighborhood, therefore not having any adverse impacts on other property in the vicinity.
- 7) The subject property is suitable for the proposed zoning classification.
- 8) The need for the proposed rezoning is warranted, as the rezoning would be more consistent with the 2030 Comprehensive Plan and is more compatible with other property in the vicinity.

The City Council held a first reading on the change in zoning classification on April 18, 2016. There have been no changes to the ordinance since the first reading.

Attachments include an ordinance to rezone the property to R-3 Medium and High Density Residential.

FINANCIAL IMPACT

None.

COUNCIL ACTION REQUESTED

Approve the second reading and adopt the ordinance rezoning the property at 6058 Highway 10 to R-3 Medium and High Density Residential.



2015 First Avenue, Anoka, MN 55303
Phone: (763) 576-2700 Website: www.ci.anoka.mn.us

**CITY OF ANOKA, MINNESOTA
ORDINANCE**

ORD-2016-XXXX

AN ORDINANCE AMENDING CHAPTER 74, ARTICLE III, SECTION 74-62 OF THE ANOKA CITY CODE REGARDING THE CITY OF ANOKA ZONING MAP.

The Council of the City of Anoka ordains:

SECTION 1. This ordinance applies to the subject property legally described as follows:

See Exhibit A

SECTION 2. The City Council finds in support of rezoning the property described in SECTION 1 of this ordinance.

SECTION 3. The subject property legally described in SECTION 1 shall hereafter have the zoning classification of R-3 Medium and High Density Residential apply to it.

SECTION 4. The Zoning Administrator is hereby authorized and directed to record said amendments to the Official Zoning Map.

SECTION 5. This Ordinance shall be in full force and effective upon passage and seven days after publication.

ATTEST:

Introduced: April 18, 2016
Adopted: _____
Published: _____
Effective: _____

Phil Rice, Mayor

	Aye	Nay	Abstain	Absent
Rice	_____	_____	_____	_____
Anderson	_____	_____	_____	_____
Freeburg	_____	_____	_____	_____
Schmidt	_____	_____	_____	_____
Weaver	_____	_____	_____	_____

Amy T. Oehlers, City Clerk

EXHIBIT A

All that part of the Northeast Quarter of the Southwest Quarter of Section 35, Township 32, Range 25, including Lot 14, Lot 32 and part of Lot 26, Auditor's Subdivision Number 96, formerly part of Lot 6, Auditor's Subdivision Number 29, Anoka County, Minnesota, described as follows, to -wit: Commencing at a point on the East and West Quarter section line distant 2272.00 feet East of the West Quarter section corner of said Section 35; thence to the right with a deflection angle of 113 degrees 14 minutes and South 23 degrees 14 minutes West a distance of 733.06 feet to the Southwesterly line of State Trunk Highway Number 10 as shown on Minnesota Department of Transportation Monumentation Plat 02-M6, said point being the point of beginning of the tract hereby to be described; thence South 23 degrees 14 minutes West to the Southwesterly corner of that tract deeded by Roger W. Dickenson and Minnie E. Dickenson to Milton T. Werner and Bertha E. Werner as recorded in Book 230 of Deeds, page 86; thence Southeasterly on a line which would pass through the Southeasterly corner of that tract described in Book 214 of Deeds, page 378 to an intersection with a line drawn parallel with and 150 Westerly of the Easterly line of said tract described in Book 214 of Deeds, page 378; thence South 23 degrees 14 minutes; West on a line parallel with the Southwesterly extension of the Easterly line of said tract of land recorded in Book 214 of Deeds, page 378, for a distance of 368 feet, more or less, to the high water line in a Ravine connecting to the Mississippi River; thence Easterly along said high water line in Ravine to a point on the Westerly line of Lot 8, Auditor's Subdivision Number 29, extended Southerly, said West line being the West line of that tract of land deeded to Henry H. and Myrtle Wilson, his wife, be William Pipenhagen and Eda Pipenhagen, his wife, dated May 26, 1938 and recorded in Book 172 of Deeds, page 76; thence Northerly on said extended Westerly line and West line a distance of 223 feet, more or less, to the Southerly line of State Trunk Highway Number 10 as shown on Minnesota Department of Transportation Monumentation Plat 02-M6, said point being the Northeasterly corner of that tract of land deeded to Palmer R. and Marjorie Martinson by Roger W. Dickenson and Minnie V. Dickenson, his wife, and recorded in Book 244 of Deeds, page 630; thence Northwesterly along the Southerly line of said State Trunk Highway Number 10 as shown on Minnesota Department of Transportation Monumentation Plat 02-M6 to the point of beginning.
Anoka County, Minnesota

COUNCIL MEMO FORM

7.1.B

Meeting Date	May 2, 2016
Agenda Section	7. Reports of Officers, Boards & Commissions
Item Description	RES/Final Plat; 6058 Hwy 10
Submitted By	Chuck Darnell, Associate Planner

BACKGROUND INFORMATION

The City of Anoka is the applicant requesting approval of the final plat for Fellowship Place. This plat encompasses the properties currently addressed 6058 Highway 10.

The Planning Commission held a public hearing on April 5, 2016 and recommended approval of the preliminary plat for Fellowship Place. The City Council also reviewed and approved the preliminary plat for Fellowship Place on April 18, 2016.

Since that time, staff has determined two minor changes that have been reflected on the final plat. Those include a wider drainage and utility easement on Lot 1 and 2 to allow for utility access and still preserve trees on the site, and the change of the area shown as right-of-way on the preliminary plat to Outlot B on the final plat. These changes were described during the staff presentation to the City Council on April 18, 2016, before the approval of the preliminary plat.

Staff believes that the final plat is in significant agreement with the preliminary plat. Exhibits depicting the easements that were shown on the preliminary plat, but must be recorded as separate documents, have been created.

Attachments include the final plat and exhibits of the easements that will be recorded as separate documents, as well as a resolution approving the final plat.

FINANCIAL IMPACT

None.

COUNCIL ACTION REQUESTED

Adopt the resolution approving the final plat for Fellowship Place.



2015 First Avenue, Anoka, MN 55303
Phone: (763) 576-2700 Website: www.ci.anoka.mn.us

**CITY OF ANOKA, MINNESOTA
RESOLUTION**

RES-2016-XX

**FINAL PLAT
FELLOWSHIP PLACE**

WHEREAS, the City of Anoka proposes to plat the 4.28-acre site located at 6058 Highway 10. The plat creates 4 lots legally described as follows:

Lot 1, Block 1, Fellowship Place
Lot 2, Block 1, Fellowship Place
Outlot A, Block 1, Fellowship Place
Outlot B, Block 1, Fellowship Place

WHEREAS, the final plat meets all applicable city zoning and subdivision ordinances; and

WHEREAS, the final plat is in significant agreement with the preliminary plat that was approved by the Anoka City Council on April 18, 2016; and

NOW, THEREFORE, BE IT RESOLVED that the Anoka City Council hereby approves the final plat for Fellowship Place in accordance with relevant City Codes.

NOW, THEREFORE, BE IT FURTHER RESOLVED that the Anoka City Council hereby authorizes the Mayor, City Clerk, Planning Commission Chairman, and Planning Commission Secretary to sign the final plat on behalf of the City of Anoka.

Adopted by the Anoka City Council this the 2nd day of May 2016.

ATTEST:

Amy T. Oehlers, City Clerk

Phil Rice, Mayor

FELLOWSHIP PLACE

(REVIEW COPY 04/21/16)

KNOW ALL PERSONS BY THESE PRESENTS: That the City of Anoka, a Minnesota Municipal Corporation under the laws of the State of Minnesota, owner of the following described property:

All that part of the Northeast Quarter of the Southwest Quarter of Section 35, Township 32, Range 25, including Lot 14, Lot 32 and part of Lot 26, Auditor's Subdivision Number 96, formerly part of Lot 6, Auditor's Subdivision Number 29, Anoka County, Minnesota, described as follows, to-wit: Commencing at a point on the East and West Quarter section line distant 2272.00 feet East of the West Quarter section corner of said Section 35; thence to the right with a deflection angle of 113 degrees 14 minutes and South 23 degrees 14 minutes West a distance of 733.06 feet to the Southwesterly line of State Trunk Highway Number 10 as shown on Minnesota Department of Transportation Monumentation Plat 02-M6, said point being the point of beginning of the tract hereby to be described; thence South 23 degrees 14 minutes West to the Southwesterly corner of that tract deeded by Roger W. Dickenson and Minnie E. Dickenson to Milton T. Werner and Bertha E. Werner as recorded in Book 230 of Deeds, page 86; thence Southeastery on a line which would pass through the Southeastery corner of that tract described in Book 214 of Deeds, page 378 to an intersection with a line drawn parallel with and 150 Westerly of the Easterly line of said tract described in Book 214 of Deeds, page 378; thence South 23 degrees 14 minutes; West on a line parallel with the Southwesterly extension of the Easterly line of said tract of land recorded in Book 214 of Deeds, page 378, for a distance of 368 feet, more or less, to the high water line in a Ravine connecting to the Mississippi River; thence Easterly along said high water line in Ravine to a point on the Westerly line of Lot 8, Auditor's Subdivision Number 29, extended Southerly, said West line being the West line of that tract of land deeded to Henry H. and Myrtle Wilson, his wife, be William Pipenhagen and Eda Pipenhagen, his wife, dated May 26, 1938 and recorded in Book 172 of Deeds, page 76; thence Northerly on said extended Westerly line and West line a distance of 223 feet, more or less, to the Southerly line of State Trunk Highway Number 10 as shown on Minnesota Department of Transportation Monumentation Plat 02-M6, said point being the Northeastery corner of that tract of land deeded to Palmer R. and Marjorie Martinson by Roger W. Dickenson and Minnie V. Dickenson, his wife, and recorded in Book 244 of Deeds, page 630; thence Northwesterly along the Southerly line of said State Trunk Highway Number 10 as shown on Minnesota Department of Transportation Monumentation Plat 02-M6 to the point of beginning.

Have caused the same to be surveyed and platted as FELLOWSHIP PLACE and do hereby dedicate to the public for public use the drainage and utility easements as shown on this plat.

In witness whereof said City of Anoka, a Minnesota Municipal Corporation under the laws of the State of Minnesota, has caused these presents to be signed by its proper officers this ___ day of _____, 20__.

CITY OF ANOKA

Phil Rice, as Mayor

Amy T. Oehlers, as City Clerk

STATE OF _____

COUNTY OF _____

This instrument was acknowledged before me this ___ day of _____, 20__ by Phil Rice, as Mayor, and Amy T. Oehlers, as City Clerk, of the City of Anoka, a Minnesota Municipal corporation under the laws of the State of Minnesota, on behalf of the corporation.

Notary Public, _____

My commission expires _____

I Charles R. Christopherson do hereby certify that this plat was prepared by me or under my direct supervision; that I am a duly Licensed Land Surveyor in the State of Minnesota; that this plat is a correct representation of the boundary survey; that all mathematical data and labels are correctly designated on this plat; that all monuments depicted on this plat have been, or will be correctly set within one year; that all water boundaries and wet lands, as defined in Minnesota Statutes, Section 505.01, Subd. 3, as of the date of this certificate are shown and labeled on this plat; and all public ways are shown and labeled on this plat.

Dated this ___ day of _____, 20__.

Charles R. Christopherson, Licensed Land Surveyor
 Minnesota License No. 18420

STATE OF MINNESOTA
 COUNTY OF ANOKA

This instrument was acknowledged before me this ___ day of _____, 20__ by Charles R. Christopherson.

Notary Public, Minnesota.

My commission expires _____

City Council, City of Anoka, Minnesota

This plat of FELLOWSHIP PLACE was approved and accepted by the City Council of the City of Anoka, Minnesota at a regular meeting thereof held this day of _____, 20__, and said plat is in compliance with the provisions of Minnesota Statutes, Section 505.03, Subd. 2.

City Council, City of Anoka, Minnesota

By: _____, Mayor

By: _____, Clerk

Anoka Planning Commission

Be it known that at a meeting held on this ___ day of _____, 20__, the Planning Commission of the City of Anoka, Minnesota, did hereby review and approve this plat of FELLOWSHIP PLACE.

Planning Commission, City of Anoka, Minnesota

By: _____, Chairperson

By: _____, Secretary

ANOKA COUNTY SURVEYOR

I hereby certify that in accordance with Minnesota Statutes, Section 505.021, Subd. 11, this plat has been reviewed and approved this ___ day of _____, 20__.

Larry D. Holum,
 Anoka County Surveyor

ANOKA COUNTY AUDITOR/TREASURER

Pursuant to Minnesota Statutes, Section 505.021, Subd. 9, taxes payable in the year 20__ on the land hereinbefore described have been paid. Also, pursuant to Minnesota Statutes, Section 272.12, there are no delinquent taxes and transfer entered this ___ day of _____, 20__.

Property Tax Administrator

By: _____, Deputy

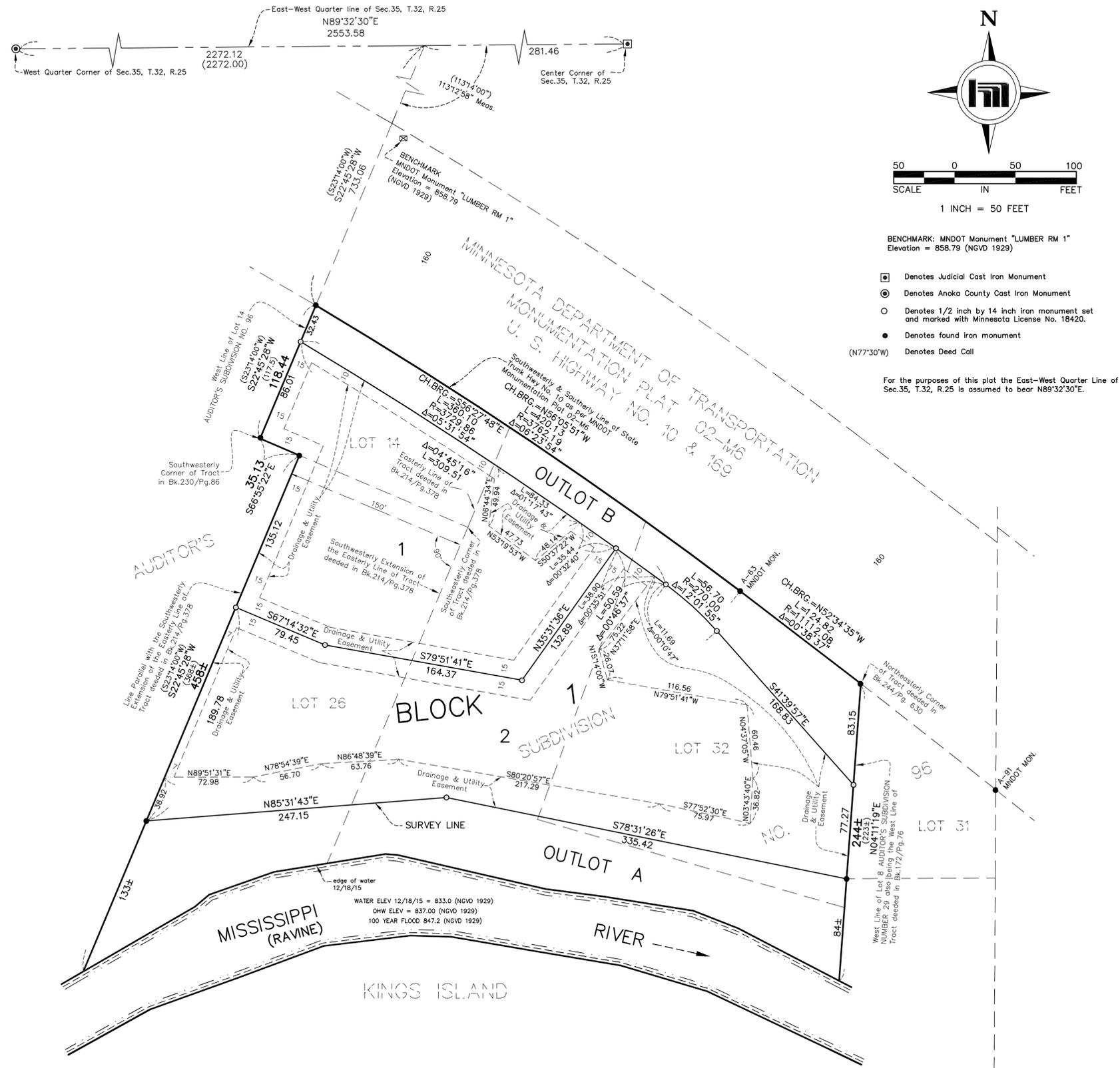
ANOKA COUNTY RECORDER/REGISTRAR OF TITLES

County of Anoka, State of Minnesota

I hereby certify that this plat of FELLOWSHIP PLACE was filed in the office of the County Recorder/Registrar of Titles for public record on this ___ day of _____, 20__ at ___ o'clock ___ M. and was duly recorded in Book _____ Page _____, as Document Number _____.

County Recorder/Registrar of Titles

By: _____, Deputy



BENCHMARK: MNDOT Monument "LUMBER RM 1"
 Elevation = 858.79 (NGVD 1929)

- ☐ Denotes Judicial Cast Iron Monument
- ⊙ Denotes Anoka County Cast Iron Monument
- Denotes 1/2 inch by 1/4 inch iron monument set and marked with Minnesota License No. 18420.
- Denotes found iron monument
- (N77°30'W) Denotes Deed Call

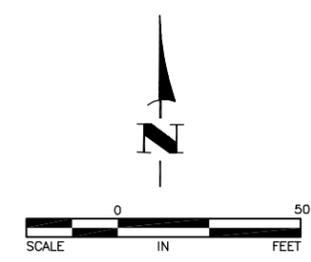
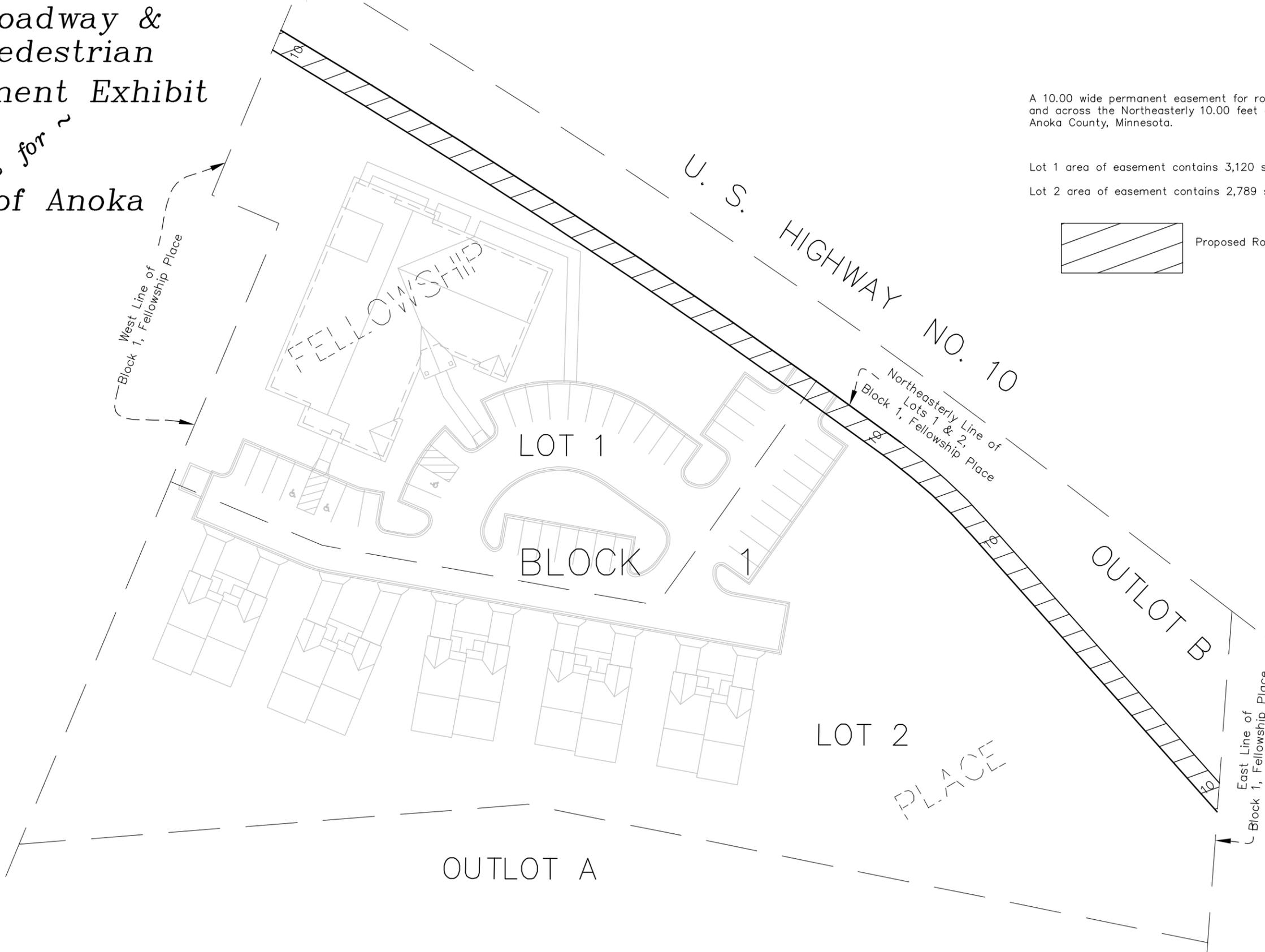
For the purposes of this plat the East-West Quarter Line of Sec. 35, T. 32, R. 25 is assumed to bear N89°32'30"E.

Roadway & Pedestrian Easement Exhibit for City of Anoka

A 10.00 wide permanent easement for roadway and pedestrian purposes over under and across the Northeastery 10.00 feet of Lots 1 & 2, Block 1, FELLOWSHIP PLACE, Anoka County, Minnesota.

Lot 1 area of easement contains 3,120 sq. ft. = 0.07 acres

Lot 2 area of easement contains 2,789 sq. ft. = 0.06 acres



DATE	REVISION	DESIGNED BY:
04/19/16	revised Outlot B	BRP
		DRAWN BY:
		BRP
		CHECKED BY:
		SMM



Easement Exhibit for City of Anoka
 DATE 04/06/16 FILE NO. 49 of 1170

SHEET 1 OF 1 SHEETS

Slope Easement Exhibit

for
City of Anoka

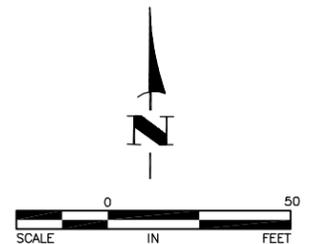
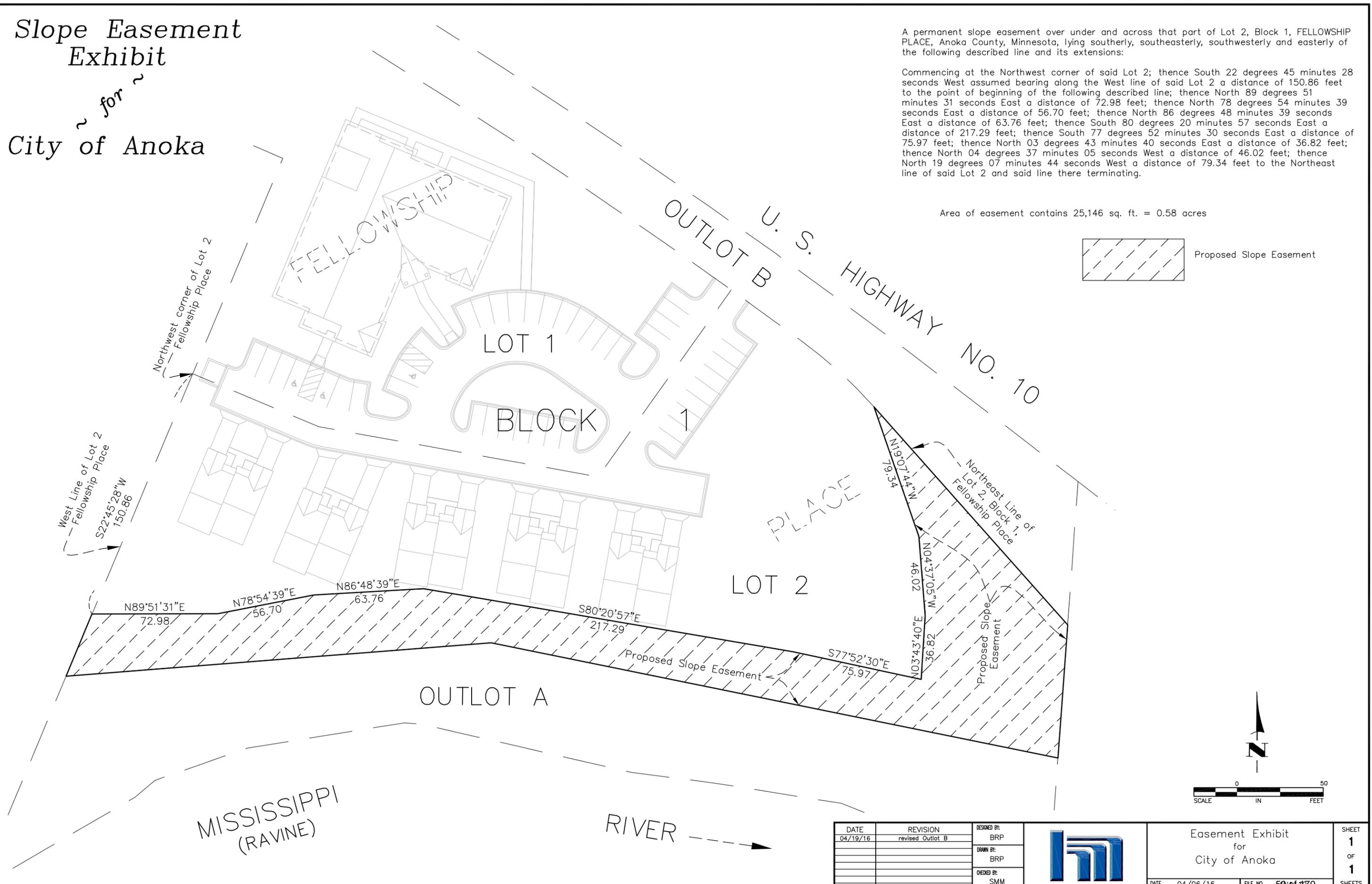
A permanent slope easement over under and across that part of Lot 2, Block 1, FELLOWSHIP PLACE, Anoka County, Minnesota, lying southerly, southeasterly, southwesterly and easterly of the following described line and its extensions:

Commencing at the Northwest corner of said Lot 2; thence South 22 degrees 45 minutes 28 seconds West assumed bearing along the West line of said Lot 2 a distance of 150.86 feet to the point of beginning of the following described line; thence North 89 degrees 51 minutes 31 seconds East a distance of 72.98 feet; thence North 78 degrees 54 minutes 39 seconds East a distance of 56.70 feet; thence North 86 degrees 48 minutes 39 seconds East a distance of 63.76 feet; thence South 80 degrees 20 minutes 57 seconds East a distance of 217.29 feet; thence South 77 degrees 52 minutes 30 seconds East a distance of 75.97 feet; thence North 03 degrees 43 minutes 40 seconds East a distance of 36.82 feet; thence North 04 degrees 37 minutes 05 seconds West a distance of 46.02 feet; thence North 19 degrees 07 minutes 44 seconds West a distance of 79.34 feet to the Northeast line of said Lot 2 and said line there terminating.

Area of easement contains 25,146 sq. ft. = 0.58 acres



Proposed Slope Easement



DATE	REVISION	DESIGNED BY:
04/19/16	revised Outlot B	BRP
		DRAWN BY:
		BRP
		CHECKED BY:
		SMM



Easement Exhibit for City of Anoka		SHEET 1 OF 1 SHEETS
DATE 04/06/16	FILE NO. 50 of 1170	

Ingress/Egress Easement Exhibit

for
City of Anoka

A 30.00 foot wide permanent easement for ingress/egress purposes over under and across that part of Lots 1 & 2, Block 1, and OUTLOT B, FELLOWSHIP PLACE, Anoka County, Minnesota. The centerline of said easement being the common lot line between said Lots 1 & 2 and it's northeasterly extension thereof, more particularly described as follows:

Beginning at the Northwestern corner of said Lot 2, said corner also being the Southwestern corner of said Lot 1; thence southeasterly and northeasterly along said common lot line between Lots 1 & 2, and it's northeasterly extension to intersect the southerly right-of-way line of U.S. Trunk Highway No. 10 & 169 as shown on MNDOT MONUMENTATION PLAT NO. 02-M6 and said centerline there terminating. The sidelines of said easement are to be prolonged or shortened to terminate on the westerly lines of said Lots 1 & 2, and the southerly line of said U.S. Trunk Highway No 10 & 169.

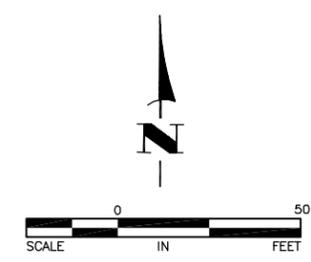
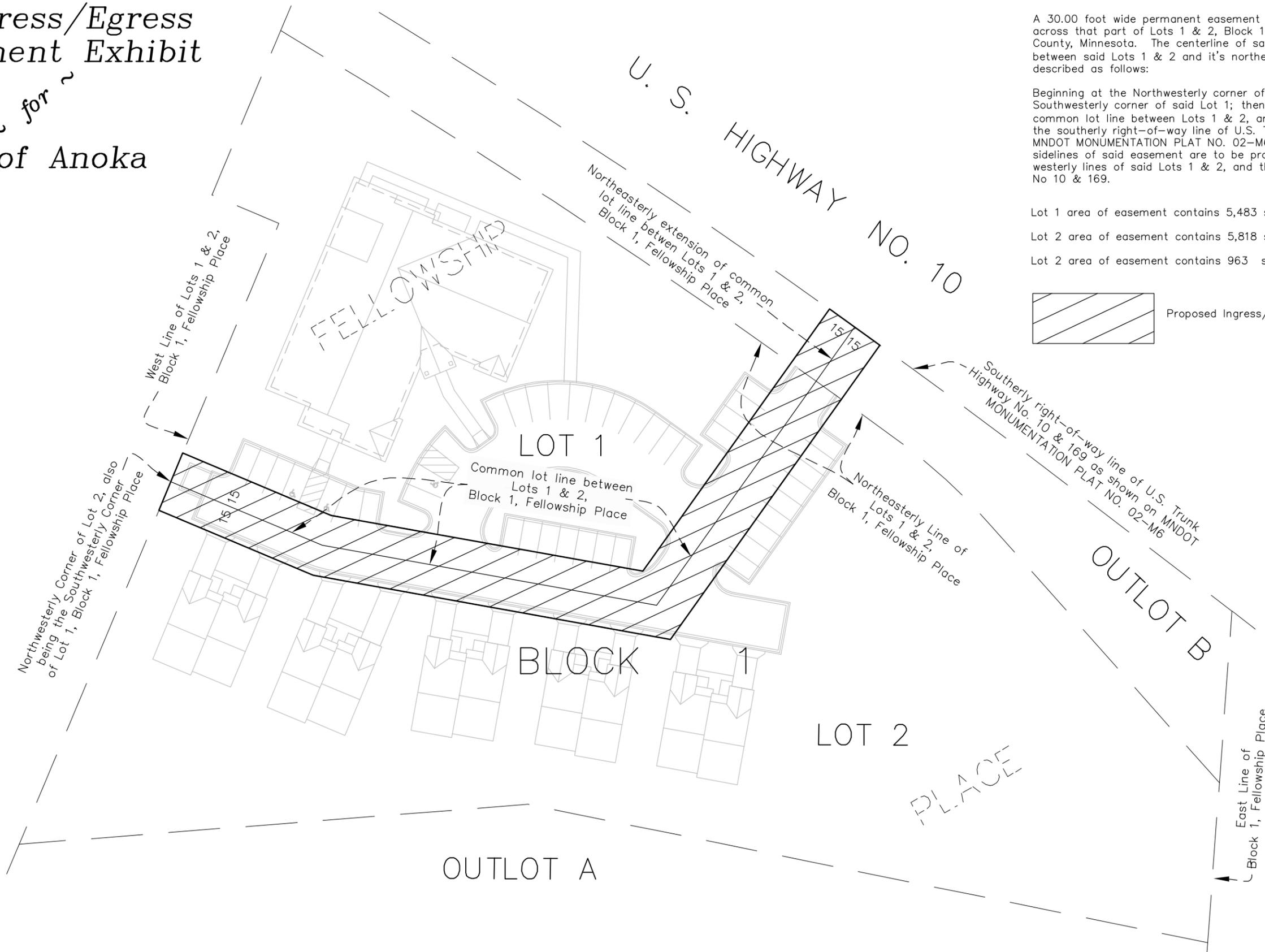
Lot 1 area of easement contains 5,483 sq. ft. = 0.13 acres

Lot 2 area of easement contains 5,818 sq. ft. = 0.13 acres

Lot 2 area of easement contains 963 sq. ft. = 0.02 acres



Proposed Ingress/Egress Easement



DATE	REVISION	DESIGNED BY:
04/19/16	rev. Outlot B and description	BRP
		DRAWN BY:
		BRP
		CHECKED BY:
		SMM



Easement Exhibit
for
City of Anoka

DATE 04/06/16 FILE NO. 54 of 1170

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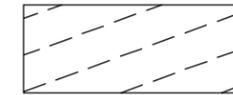
Cross Parking Easement Exhibit

for
City of Anoka

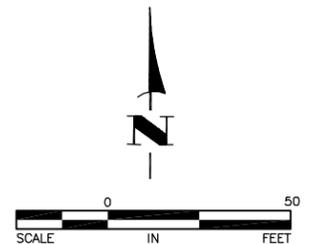
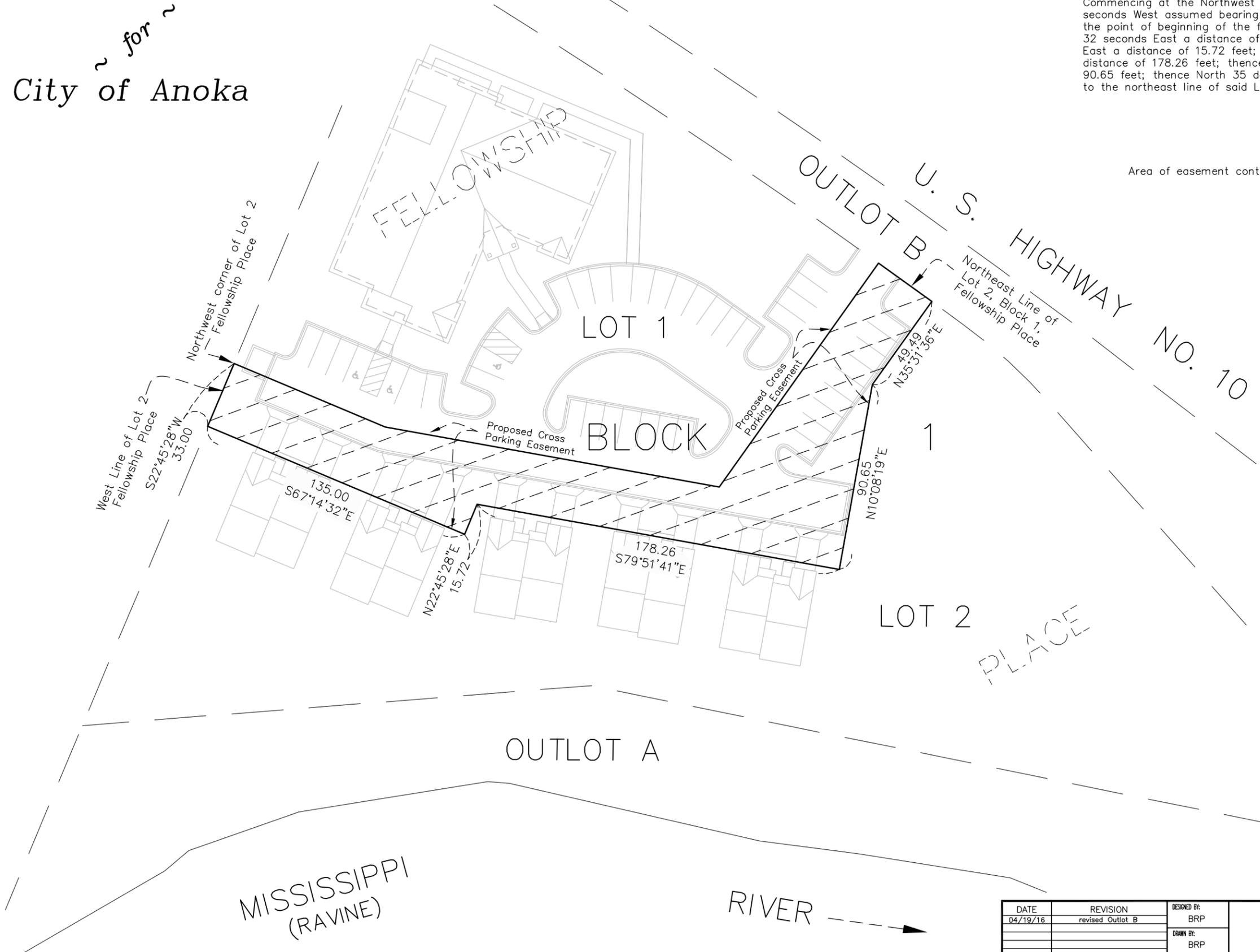
A permanent cross parking easement over under and across that part of Lot 2, Block 1, FELLOWSHIP PLACE, Anoka County, Minnesota, lying northeasterly, northerly, northwesterly and westerly of the following described line and its extensions:

Commencing at the Northwest corner of said Lot 2; thence South 22 degrees 45 minutes 28 seconds West assumed bearing along the West line of said Lot 2 a distance of 33.00 feet to the point of beginning of the following described line; thence South 67 degrees 14 minutes 32 seconds East a distance of 135.00 feet; thence North 22 degrees 45 minutes 28 seconds East a distance of 15.72 feet; thence South 79 degrees 51 minutes 41 seconds East a distance of 178.26 feet; thence North 10 degrees 08 minutes 19 seconds East a distance of 90.65 feet; thence North 35 degrees 31 minutes 36 seconds East a distance of 49.49 feet to the northeast line of said Lot 2 and said line there terminating.

Area of easement contains 14,747 sq. ft. = 0.34 acres



Proposed Cross Parking Easement



DATE	REVISION	DESIGNED BY:
04/19/16	revised Outlot B	BRP
		DRAWN BY:
		BRP
		CHECKED BY:
		SMM



Easement Exhibit
for
City of Anoka

DATE 04/06/16 FILE NO. 52 of 1170

SHEET
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OF
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SHEETS

Ingress/Egress Easement Exhibit

for
City of Anoka

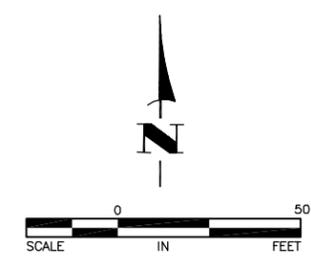
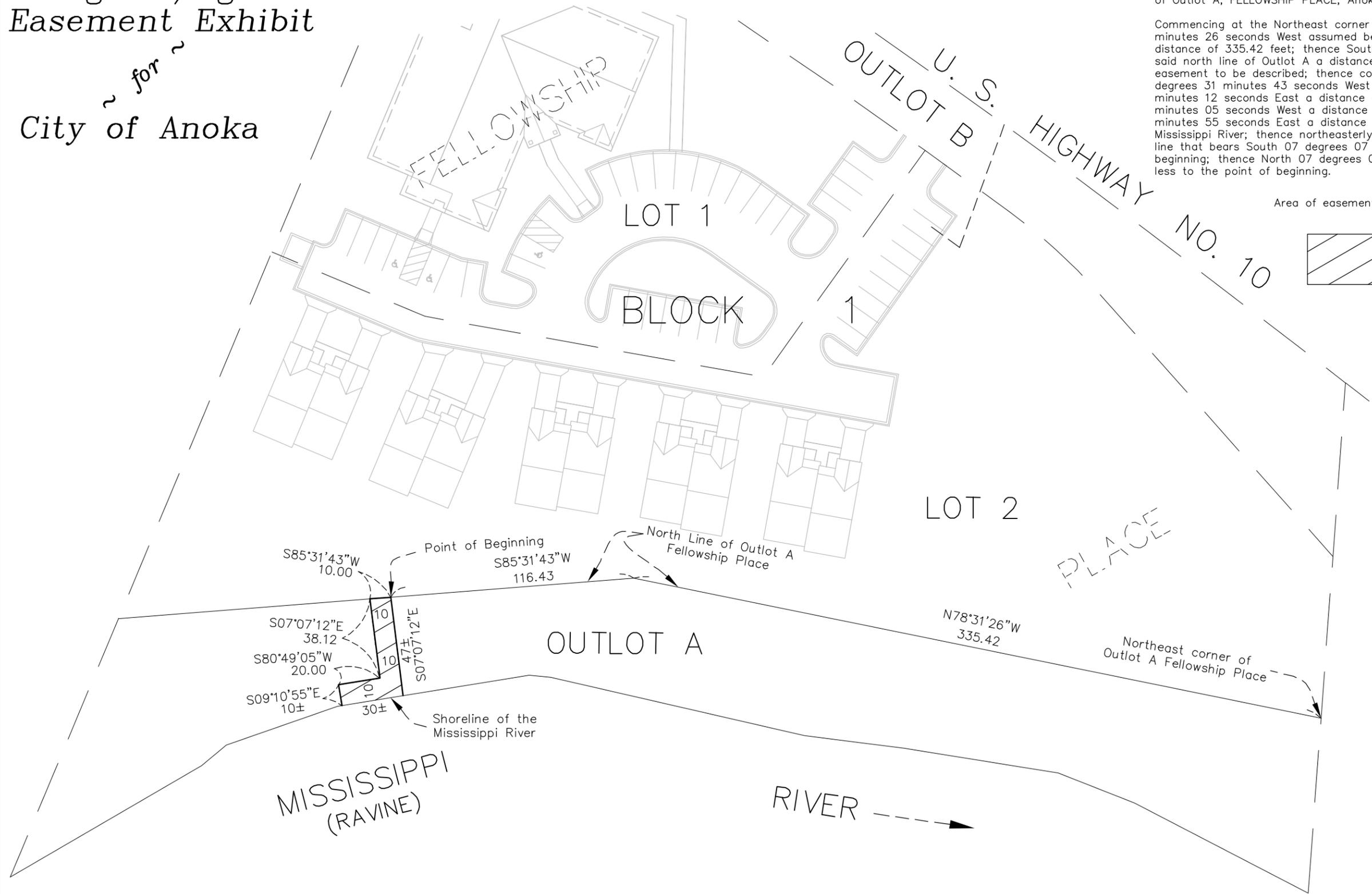
A permanent easement for ingress/egress purposes over under and across that part of Outlot A, FELLOWSHIP PLACE, Anoka County, Minnesota, described as follows:

Commencing at the Northeast corner of said Outlot A; thence North 78 degrees 31 minutes 26 seconds West assumed bearing along the North line of said Outlot A a distance of 335.42 feet; thence South 85 degrees 31 minutes 43 seconds West along said north line of Outlot A a distance of 116.43 feet to the point of beginning of the easement to be described; thence continuing along said northerly line South 85 degrees 31 minutes 43 seconds West 10.00 feet; thence South 07 degrees 07 minutes 12 seconds East a distance of 38.12 feet; thence South 80 degrees 49 minutes 05 seconds West a distance of 20.00 feet; thence South 09 degrees 10 minutes 55 seconds East a distance of 10 feet more or less to the shoreline of the Mississippi River; thence northeasterly, along said shoreline, to the intersection with a line that bears South 07 degrees 07 minutes 12 seconds East from the point of beginning; thence North 07 degrees 07 minutes 12 seconds West 47 feet more or less to the point of beginning.

Area of easement contains 675 sq. ft.± = 0.02 acres±



Proposed Ingress/Egress Easement



DATE	REVISION	DESIGNED BY:
04/19/16	revised Outlot B	BRP
		DRAWN BY:
		BRP
		CHECKED BY:
		SMM



Easement Exhibit for City of Anoka	
DATE 04/06/16	FILE NO. 59 of 1170

SHEET
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OF
1
SHEETS

COUNCIL MEMO FORM

7.1.C

Meeting Date	May 2, 2016
Agenda Section	7. Reports of Officers, Boards & Commissions
Item Description	ORD/Planned Unit Development; 6058 Hwy 10 (2 nd Reading)
Submitted By	Chuck Darnell, Associate Planner

BACKGROUND INFORMATION

The applicant, Dennis Medved, has submitted an application for a planned unit development (PUD) to develop townhomes and an office building on the property at 6058 Highway 10. The property will be used as the new facilities for Riverplace Counseling Center.

The City Council completed a site plan review and approved the site plan and a variance for the development on April 18, 2016.

The applicant is requesting that the PUD be created as Planned Residential Development-5 (PRD-5) with mixed land uses, as allowed under Anoka City Code. PRD-5 would be based on the underlying zoning district of R-3 Medium and High Density Residential. The mixed land use would encompass the office building, which is allowed because offices are a use that is permitted in one of the City's four types of PUDs and the office use will not occupy more than one-third of the area within PRD-5.

The Planning Commission considered and recommended approval of the PUD at the April 5, 2016 regular meeting. The Planning Commission found that the proposed development met the criteria required of a PUD, in that it conformed with the goals of the City's comprehensive plan, was in substantial conformity with the original district, was designed in such a manner as to form a desirable and unified environment within its own boundaries, and did not have any negative impacts on the surrounding area or public infrastructure.

The City Council held a first reading on the PUD on April 18, 2016. There have been no changes to the site plan or ordinance since the first reading. The City is keeping options open for slight changes to the grading and site enhancements on the west side of the property, which could include the addition of a berm from excess fill located on and around the property. These changes would be based on continuing conversations with the owner of the property to the west and the eventual adjacent land use.

Attachments include the site plan documents that were approved on April 18, 2016 and an ordinance to rezone the property to Planned Residential Development-5 (PRD-5).

FINANCIAL IMPACT

None.

COUNCIL ACTION REQUESTED

Approve the second reading and adopt the ordinance rezoning the property at 6058 Highway 10 to Planned Residential Development-5 (PRD-5).



2015 First Avenue, Anoka, MN 55303
Phone: (763) 576-2700 Website: www.ci.anoka.mn.us

**CITY OF ANOKA, MINNESOTA
ORDINANCE**

ORD-2016-XXXX

AN ORDINANCE AMENDING CHAPTER 74, ARTICLE III, SECTION 74-62 OF THE ANOKA CITY CODE REGARDING THE CITY OF ANOKA ZONING MAP.

The Council of the City of Anoka ordains:

SECTION 1. This ordinance applies to the subject property legally described as follows:

See Exhibit A

SECTION 2. The City Council finds in support of rezoning the property described in SECTION 1 of this ordinance.

SECTION 3. The subject property legally described in SECTION 1 shall hereafter have the zoning classification of Planned Residential Development-5 (PRD-5) apply to it.

SECTION 4. The Zoning Administrator is hereby authorized and directed to record said amendments to the Official Zoning Map.

SECTION 5. This Ordinance shall be in full force and effective upon passage and seven days after publication.

ATTEST:

Introduced: April 18, 2016
Adopted: _____
Published: _____
Effective: _____

Phil Rice, Mayor

	Aye	Nay	Abstain	Absent
Rice	_____	_____	_____	_____
Anderson	_____	_____	_____	_____
Freeburg	_____	_____	_____	_____
Schmidt	_____	_____	_____	_____
Weaver	_____	_____	_____	_____

Amy T. Oehlers, City Clerk

EXHIBIT A

All that part of the Northeast Quarter of the Southwest Quarter of Section 35, Township 32, Range 25, including Lot 14, Lot 32 and part of Lot 26, Auditor's Subdivision Number 96, formerly part of Lot 6, Auditor's Subdivision Number 29, Anoka County, Minnesota, described as follows, to -wit: Commencing at a point on the East and West Quarter section line distant 2272.00 feet East of the West Quarter section corner of said Section 35; thence to the right with a deflection angle of 113 degrees 14 minutes and South 23 degrees 14 minutes West a distance of 733.06 feet to the Southwesterly line of State Trunk Highway Number 10 as shown on Minnesota Department of Transportation Monumentation Plat 02-M6, said point being the point of beginning of the tract hereby to be described; thence South 23 degrees 14 minutes West to the Southwesterly corner of that tract deeded by Roger W. Dickenson and Minnie E. Dickenson to Milton T. Werner and Bertha E. Werner as recorded in Book 230 of Deeds, page 86; thence Southeasterly on a line which would pass through the Southeasterly corner of that tract described in Book 214 of Deeds, page 378 to an intersection with a line drawn parallel with and 150 Westerly of the Easterly line of said tract described in Book 214 of Deeds, page 378; thence South 23 degrees 14 minutes; West on a line parallel with the Southwesterly extension of the Easterly line of said tract of land recorded in Book 214 of Deeds, page 378, for a distance of 368 feet, more or less, to the high water line in a Ravine connecting to the Mississippi River; thence Easterly along said high water line in Ravine to a point on the Westerly line of Lot 8, Auditor's Subdivision Number 29, extended Southerly, said West line being the West line of that tract of land deeded to Henry H. and Myrtle Wilson, his wife, be William Pipenhagen and Eda Pipenhagen, his wife, dated May 26, 1938 and recorded in Book 172 of Deeds, page 76; thence Northerly on said extended Westerly line and West line a distance of 223 feet, more or less, to the Southerly line of State Trunk Highway Number 10 as shown on Minnesota Department of Transportation Monumentation Plat 02-M6, said point being the Northeasterly corner of that tract of land deeded to Palmer R. and Marjorie Martinson by Roger W. Dickenson and Minnie V. Dickenson, his wife, and recorded in Book 244 of Deeds, page 630; thence Northwesterly along the Southerly line of said State Trunk Highway Number 10 as shown on Minnesota Department of Transportation Monumentation Plat 02-M6 to the point of beginning.
Anoka County, Minnesota

The properties will be re-platted and know in the future as:

Lot 1, Block 1, Fellowship Place
Lot 2, Block 1, Fellowship Place
Outlot A, Block 1, Fellowship Place

PLANT LIST: Site Plantings

QTY.	KEY	BOTANICAL NAME	COMMON NAME	SIZE/ROOT
TREES				
4	ABM	Acer x freemanii 'Autumn Blaze'	Autumn Blaze Maple	2-1/2" B&B
4	RB	Betula nigra	River Birch, 3 stem clumps	8'-10' ht. B&B
3	CH	Celtis occidentalis	Common Hackberry	2-1/2" B&B
7	AP	Pinus nigra	Austrian Pine	6' ht. B&B
6	BHS	Picea glauca densata	Black Hills Spruce	6' ht. B&B
4	PFC	Malus 'Prairiefire'	Prairiefire Crabapple	1-1/2" B&B
6	JTL	Syringa reticulata	Japanese Tree Lilac	1-1/2" B&B
SHRUBS				
1	OV	Viburnum sargentii 'Onondaga'	Onondaga Viburnum	5 Gal. Pot
5	EMH	Lonicera xylosteum 'Emerald Mound'	Emerald Mound Honeysuckle	2 Gal. Pot
16	GMS	Spiraea japonica 'Goldmound'	Goldmound Spirea	2 Gal. Pot
8	NFS	Spiraea japonica 'Neon Flash'	Neon Flash Spirea	2 Gal. Pot
2	PPL	Syringa vulgaris 'Prairie Petite'	Prairie Petite Lilac	5 Gal. Pot
12	SJ	Juniperus sabinia 'Scandia'	Scandia Juniper	5 Gal. Pot
5	TY	Taxus x media 'Tauntonii'	Taunton Spreading Yew	5 Gal. Pot
PERENNIALS & ORNAMENTAL GRASSES				
12	AST	Astilbe, sp.	Mixed pink & red species	1 Gal. Pot
19	KFG	Calamagrostis acutiflora 'Karl Forester'	Karl Forester Feather Reed Grass	3 Gal. Pot
10	JBD	Hemerocallis, sp.	Janice Brown Daylily	1 Gal. Pot
15	H	Hosta, sp.	Mixed species in sets of 3	1 Gal. Pot
7	B	Boulders	Accent boulders set 1/3 into grade	24"-32" dia.

SOD
Highland sod only, no peat sod accepted. Select a blend tolerant to salt and drought. Located around building only.

SEED
Turf seed shall be selected for drought tolerance and sun/shade conditions. Infiltration basins shall be seeded with specific blends for the moisture and soil conditions.

PLANTING NOTES:

Contractor shall provide one year guarantee of all plant materials. The guarantee begins on the date of the Landscape Architect's written acceptance of the initial planting. Replacement plant materials shall also have a one year guarantee commencing upon planting.

All plants to be northern-grown and hardy. Plants to be installed as per standard AAN planting practices.

Use minimum 12" loam planting soil on trees and 6" on shrubs.

Contractor shall verify locations with all utilities prior to installation of plants.

All landscaping, including seeded and sodded areas to be manually watered until established.

Staking of trees optional; reposition if not plumb after one year.

Wrap all smooth-barked trees—fasten top and bottom. Remove by April 1.

Open top of burlap on B&B materials; remove pot on potted plants; split and break apart peat pots.

Prune plants as necessary — per standard nursery practice.

Owner shall be responsible for maintenance after acceptance of the work by the Owner.

Plants shall be immediately planted upon arrival at site. Properly heel-in materials if necessary.

All disturbed areas to be seeded unless otherwise noted. Sod shall be northern grown and hardy.

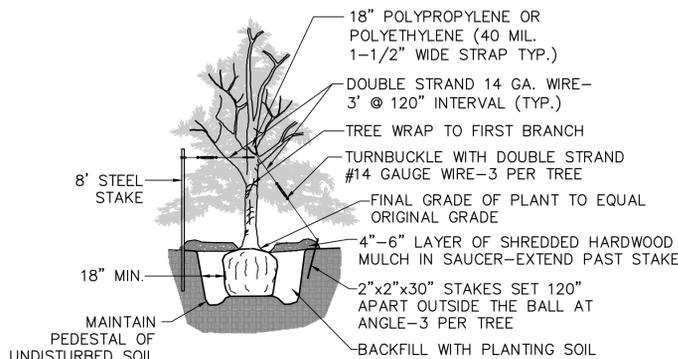
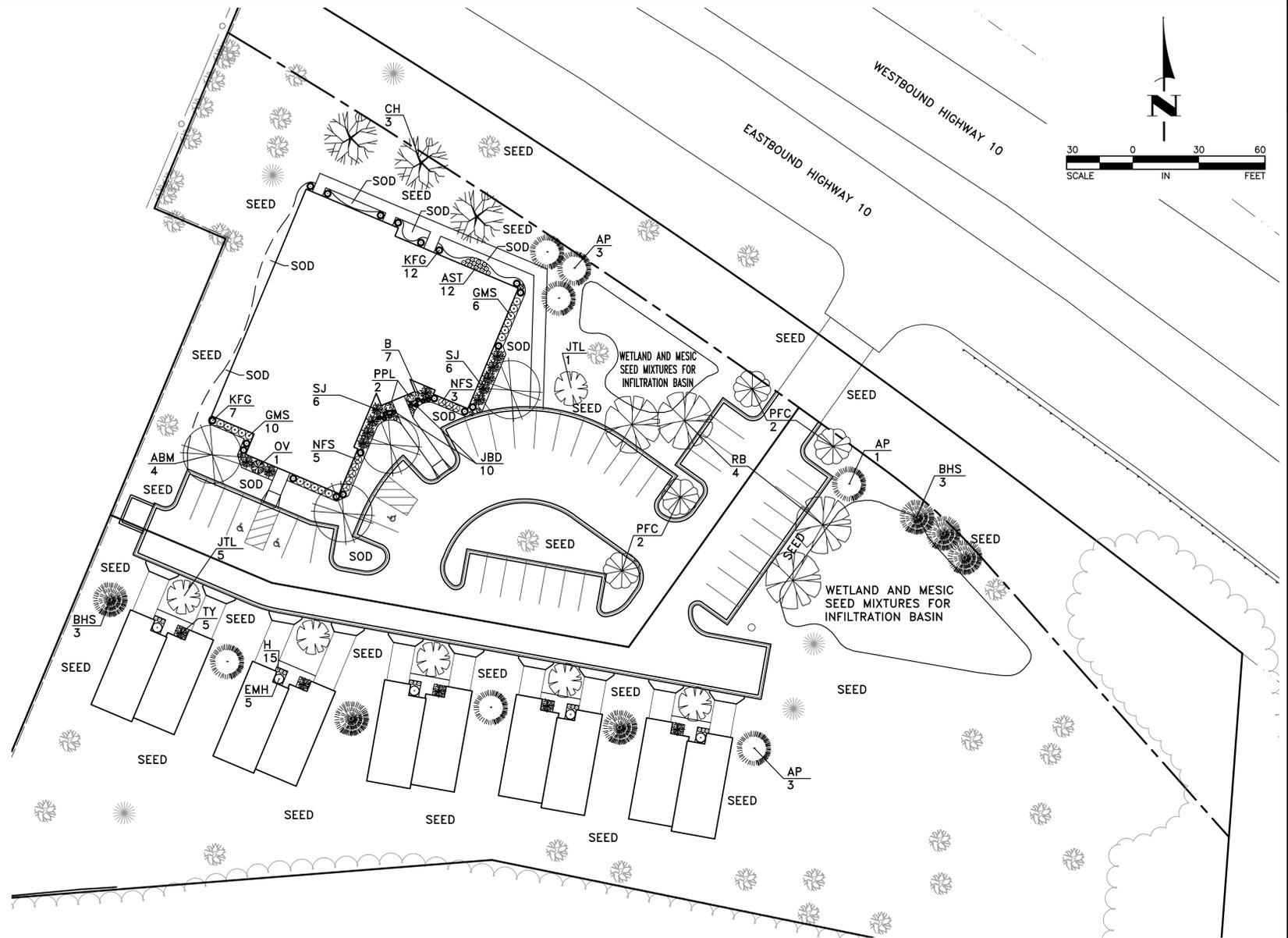
Planting beds for shrubs shall have (4 oz. min.) weed barrier fabric, 3" - 4" of 1-1/2" washed River Rock mulch and 4" vertical (commercial grade) black steel edging. The edging shall be placed and staked with smooth lines or curves as shown on the plan. Weed barrier shall not extend to adjacent to perennials or ornamental grasses. Weed barrier may be omitted if weeds can be managed by using Preen or an equivalent weed pre-emergent and preventative.

Double shredded dark brown hardwood mulch 4" deep shall be provided around all new trees.

Retaining walls are not the responsibility of the Landscape Architect. Contact the Project Engineer for details, locations, materials, and specifications for all retaining walls.

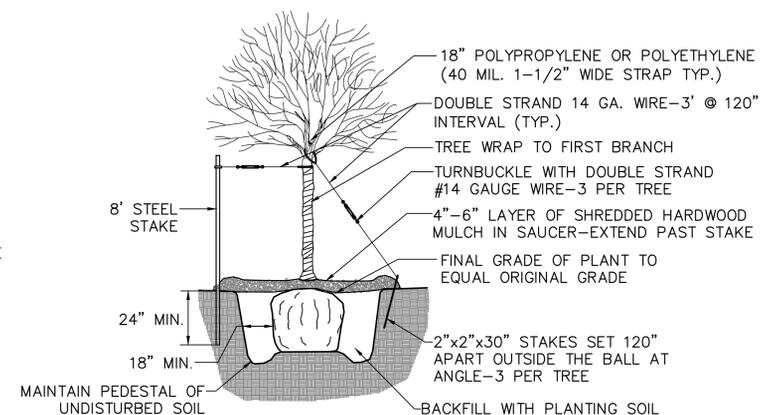
Save all existing trees shown on the plan. Protection fencing shall be used if necessary.

Soil testing shall be completed by the Landscape Contractor to ensure that soils are suitable to be used in planting areas. Where proposed green areas are replacing previous pavement or compacted areas, subsurface base shall be removed to a depth of 4 feet minimum and replaced with soils that will sustain proper growing conditions.



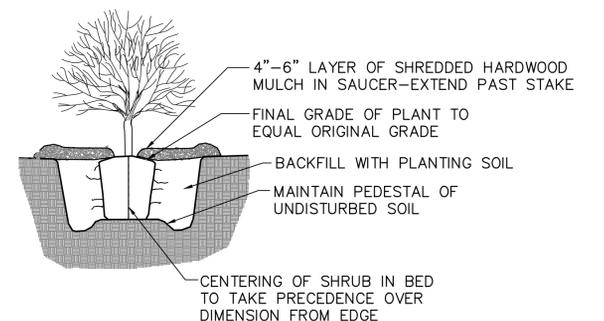
- NOTES:
- TWO ALTERNATE METHODS OF TREE STAKING ARE SHOWN.
 - IT IS THE CONTRACTOR'S OPTION TO STAKE TREES; HOWEVER, THE CONTRACTOR IS RESPONSIBLE FOR MAINTAINING TREES IN A PLUMB POSITION THROUGHOUT THE GUARANTEE PERIOD.
 - SCARIFY BOTTOM AND SIDES OF HOLE PRIOR TO PLANTING.
 - CONIFER TO HAVE SHREDDED HARDWOOD MULCH UNLESS OTHERWISE NOTED.
 - NO MULCH TO BE IN CONTACT WITH TRUNK.

CONIFEROUS TREE PLANTING DETAIL



- NOTES:
- TWO ALTERNATE METHODS OF TREE STAKING ARE SHOWN.
 - IT IS THE CONTRACTOR'S OPTION TO STAKE TREES; HOWEVER, THE CONTRACTOR IS RESPONSIBLE FOR MAINTAINING TREES IN A PLUMB POSITION THROUGHOUT THE GUARANTEE PERIOD.
 - SCARIFY BOTTOM AND SIDES OF HOLE PRIOR TO PLANTING.

DECIDUOUS TREE PLANTING DETAIL



- NOTES:
- HAND LOOSEN ROOTS OF CONTAINERIZED MATERIAL (TYP.).
 - SCARIFY BOTTOM AND SIDES OF HOLE PRIOR TO PLANTING.

SHRUB PLANTING DETAIL

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DATE	REVISION
3/3/16	ISSUED FOR CITY REVIEW
4/4/16	REVISED PLAT NAME
4/11/16	REVISED TREES ADJACENT TO HIGHWAY 10 AND PROJECT NAME

I hereby certify that this plan was prepared by me or under my direct supervision and that I am a duly licensed Landscape Architect under the laws of the State of Minnesota.
Debra Brodsho
Debra Brodsho
REG. NO. 23849 DATE 3/3/16

BRODSHO CONSULTING
Landscape Architecture Site Planning
698 NORTHBRIDGE COURT
EAGAN, MN 55123
PHONE: 651-688-8023
FAX: 651-456-5748

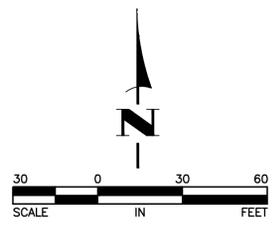
RIVERPLACE COUNSELING CENTER

LANDSCAPE PLAN

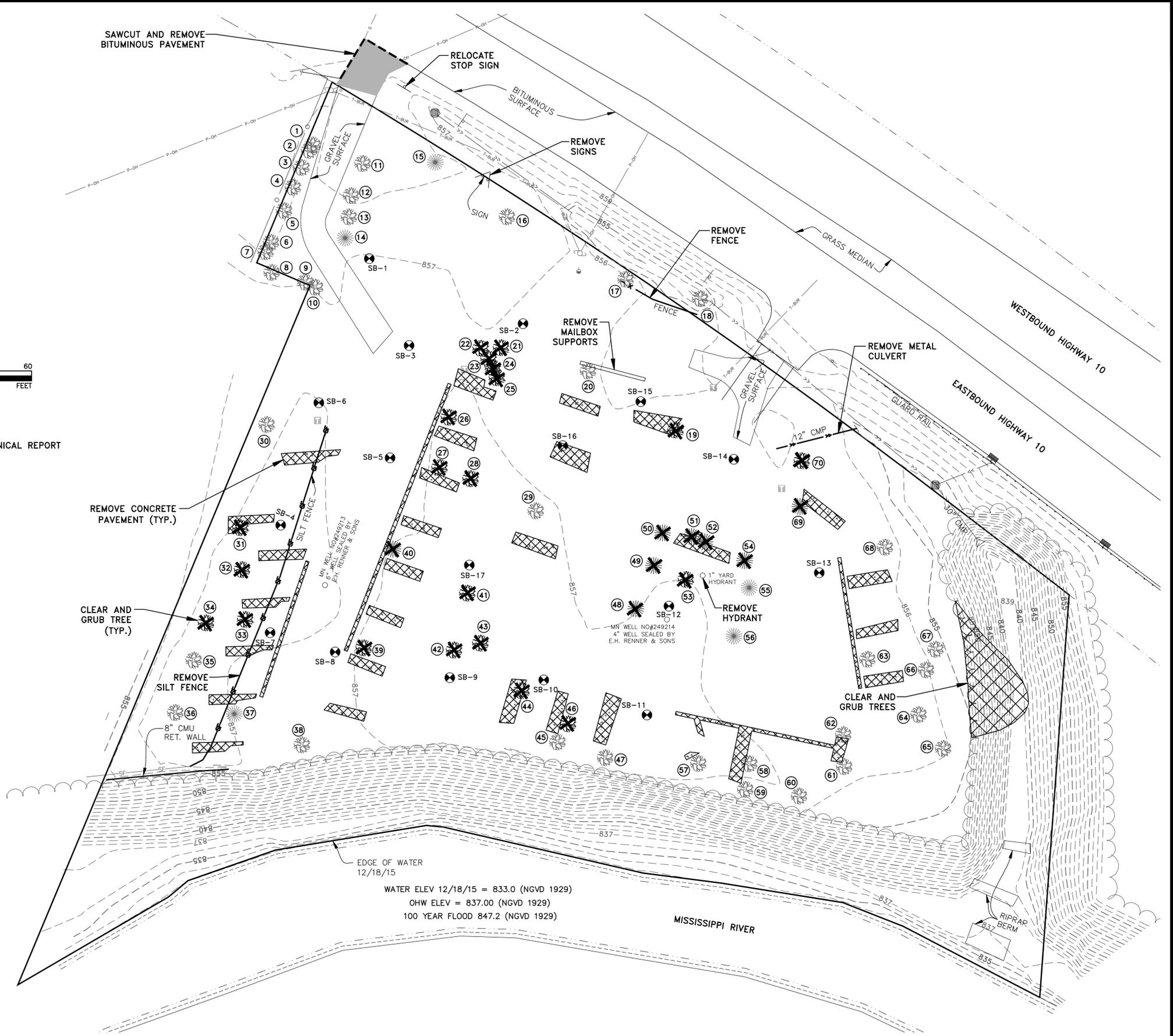
CITY OF ANOKA, MINNESOTA

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TREE INVENTORY			
TREE NUMBER	TREE NAME	CONDITION	DIAMETER (INCHES)
1	SILVER MAPLE	GOOD	12
2	SILVER MAPLE	GOOD	18
3	SILVER MAPLE	GOOD	18X2
4	SILVER MAPLE	GOOD	24X3
5	SILVER MAPLE	GOOD	24
6	SILVER MAPLE	GOOD	24X2
7	SILVER MAPLE	GOOD	24
8	SIBERIAN ELM	GOOD	6X2
9	SILVER MAPLE	GOOD	18
10	SILVER MAPLE	GOOD	18
11	SIBERIAN ELM	GOOD	18
12	HACKBERRY	GOOD	6X4
13	RED MAPLE	GOOD	12
14	WHITE SPRUCE	GOOD	20
15	WHITE SPRUCE	GOOD	15
16	BURR OAK	GOOD	48
17	GREEN ASH	GOOD	24
18	SIBERIAN ELM	GOOD	12X3
19	SILVER MAPLE	GOOD	48
20	BURR OAK	GOOD	36
21	SIBERIAN ELM	GOOD	18
22	SIBERIAN ELM	GOOD	12
23	SIBERIAN ELM	GOOD	8
24	SIBERIAN ELM	GOOD	8
25	SIBERIAN ELM	GOOD	6X2
26	SILVER MAPLE	GOOD	24
27	SILVER MAPLE	GOOD	24
28	GREEN ASH	GOOD	18
29	SILVER MAPLE	GOOD	48
30	SILVER MAPLE	GOOD	36X3
31	GREEN ASH	GOOD	18
32	SILVER MAPLE	GOOD	48
33	SILVER MAPLE	GOOD	36
34	GREEN ASH	GOOD	24
35	GREEN ASH	GOOD	24
36	SILVER MAPLE	GOOD	36X3
37	EASTERN REDCEDAR	GOOD	20
38	GREEN ASH	GOOD	36
39	SILVER MAPLE	GOOD	36X2
40	EASTERN WHITE PINE	GOOD	30
41	SIBERIAN ELM	GOOD	8X3
42	SILVER MAPLE	GOOD	36
43	SILVER MAPLE	GOOD	24X2
44	SILVER MAPLE	GOOD	48
45	SILVER MAPLE	GOOD	24
46	SILVER MAPLE	GOOD	36
47	SILVER MAPLE	GOOD	48
48	BLACK SPRUCE	GOOD	20
49	EASTERN WHITE PINE	GOOD	20
50	BLACK SPRUCE	GOOD	20
51	NORTHERN WHITE	GOOD	10
52	NORTHERN WHITE	GOOD	15
53	SILVER MAPLE	GOOD	36
54	BLACK SPRUCE	GOOD	15
55	EASTERN WHITE PINE	GOOD	20
56	EASTERN REDCEDAR	GOOD	20
57	SILVER MAPLE	GOOD	48
58	SILVER MAPLE	GOOD	24
59	SILVER MAPLE	GOOD	36
60	SILVER MAPLE	GOOD	24
61	RED MAPLE	GOOD	18
62	RED MAPLE	GOOD	12
63	BOXELDER	GOOD	12
64	SILVER MAPLE	GOOD	48
65	SILVER MAPLE	GOOD	36
66	BURR OAK	GOOD	36
67	BURR OAK	GOOD	48
68	SILVER MAPLE	GOOD	48
69	EASTERN REDCEDAR	GOOD	15
70	BOXELDER	GOOD	8



LEGEND
 SB-5 SOIL BORING—SEE GEOTECHNICAL REPORT
 5 TREE NUMBER



Mar 24, 2016 11:50am K:\cad_eng_projects\MUNICIPAL\AN215\EXISTING.dwg

DATE	REVISION
3/3/16	ISSUED FOR CITY REVIEW
3/14/16	ADDED CONCRETE REMOVAL
3/24/16	ADDED CLEARING AND GRUBBING

I hereby certify that this plan, specification, or report was prepared by me or under my direct supervision and that I am a duly Licensed Professional Engineer under the laws of the State of Minnesota.

 CRAIG J. JOCHEM, P.E.
 Date 2/26/16 Lic. No. 23461

DESIGNED BY: TAE
 DRAWN BY: TAE
 CHECKED BY: CJJ



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 Civil Engineers and Land Surveyors
 3601 Thurston Ave., Anoka, Minnesota 55303
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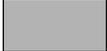
RIVERPLACE COUNSELING CENTER

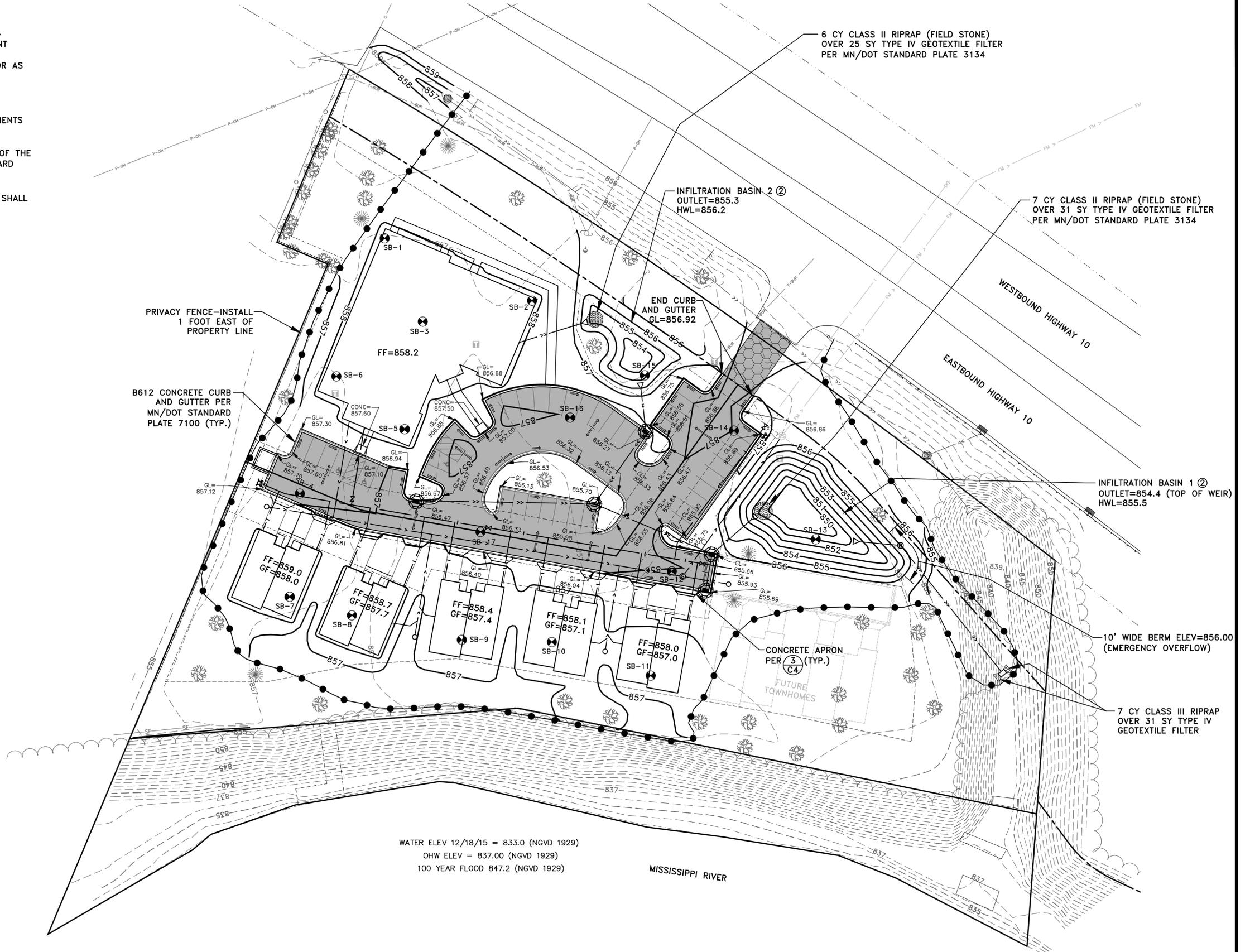
EXISTING TOPOGRAPHY AND REMOVALS PLAN
 CITY OF ANOKA, MINNESOTA

SHEET C1 OF C6 SHEETS

- GENERAL NOTES:
- SEE THE UTILITY PLAN FOR STORM SEWER INFORMATION.
 - DISTURBED AREAS SHALL BE STABILIZED WITHIN 7 DAYS OF ROUGH GRADING.
 - PROJECT IS LOCATED WITHIN THE LOWER RUM RIVER WATERSHED MANAGEMENT ORGANIZATION BOUNDARIES.
 - CONTRACTOR SHALL SWEEP ALL DEBRIS FROM HIGHWAY 10 AS NECESSARY OR AS DIRECTED BY THE ENGINEER IN THE FIELD.
 - CONTRACTOR SHALL REMOVE ALL EROSION CONTROL FEATURES ONCE SITE IS STABILIZED.
 - SLOPES SHALL BE A MAXIMUM OF 4:1.
 - SANITARY SEWER AND WATERMAIN CONSTRUCTION SHALL MEET THE REQUIREMENTS OF SECTIONS 2611 AND 2621 OF THE CITY ENGINEER'S ASSOCIATION OF MINNESOTA "STANDARD SPECIFICATIONS", 2013 EDITION.
 - STREET AND STORM SEWER CONSTRUCTION SHALL MEET THE REQUIREMENTS OF THE 2016 EDITION OF THE MINNESOTA DEPARTMENT OF TRANSPORTATION "STANDARD SPECIFICATIONS FOR CONSTRUCTION".

- REFERENCE NOTES:
- PRIOR TO IMPORTING OR EXPORTING MATERIAL FROM THE SITE, CONTRACTOR SHALL CONSTRUCT A ROCK CONSTRUCTION ENTRANCE PER $\frac{4}{C4}$.
 - INFILTRATION BASINS SHALL BE CONSTRUCTED PER $\frac{5}{C4}$.

- LEGEND
-  ROCK CONSTRUCTION ENTRANCE $\frac{1}{C4}$
 -  INLET PROTECTION DEVICE
 -  PROPOSED BITUMINOUS PAVEMENT PER $\frac{1}{C4}$, $\frac{3}{C6}$ AND $\frac{4}{C6}$
 -  SILT FENCE PER $\frac{2}{C4}$
 -  DRAINAGE ARROW
 -  PROPOSED SPOT ELEVATION



GENERAL NOTES:

1. CORRUGATED POLYETHYLENE PIPE (CPP) SHALL MEET THE REQUIREMENTS OF AASHTO M294 AND DESIGN SECTION 18 OF THE AASHTO STANDARD SPECIFICATIONS FOR HIGHWAY BRIDGES. CONNECTIONS SHALL BE MADE WITH BELL AND SPIGOT WATERTIGHT PERFORMANCE JOINTS. CLAMP-ON BANDS WILL NOT BE ALLOWED. PIPE BEDDING SHALL BE PER THE MANUFACTURER'S RECOMMENDATION.

REFERENCE NOTES:

① CONSTRUCT MANHOLE PER $\frac{6}{C5}$.

② CONSTRUCT CATCH BASIN PER $\frac{1}{C6}$.

③ CONSTRUCT CATCH BASIN/MANOLE PER $\frac{2}{C6}$.

④ CONSTRUCT SEWER SERVICE PER $\frac{1}{C5}$.

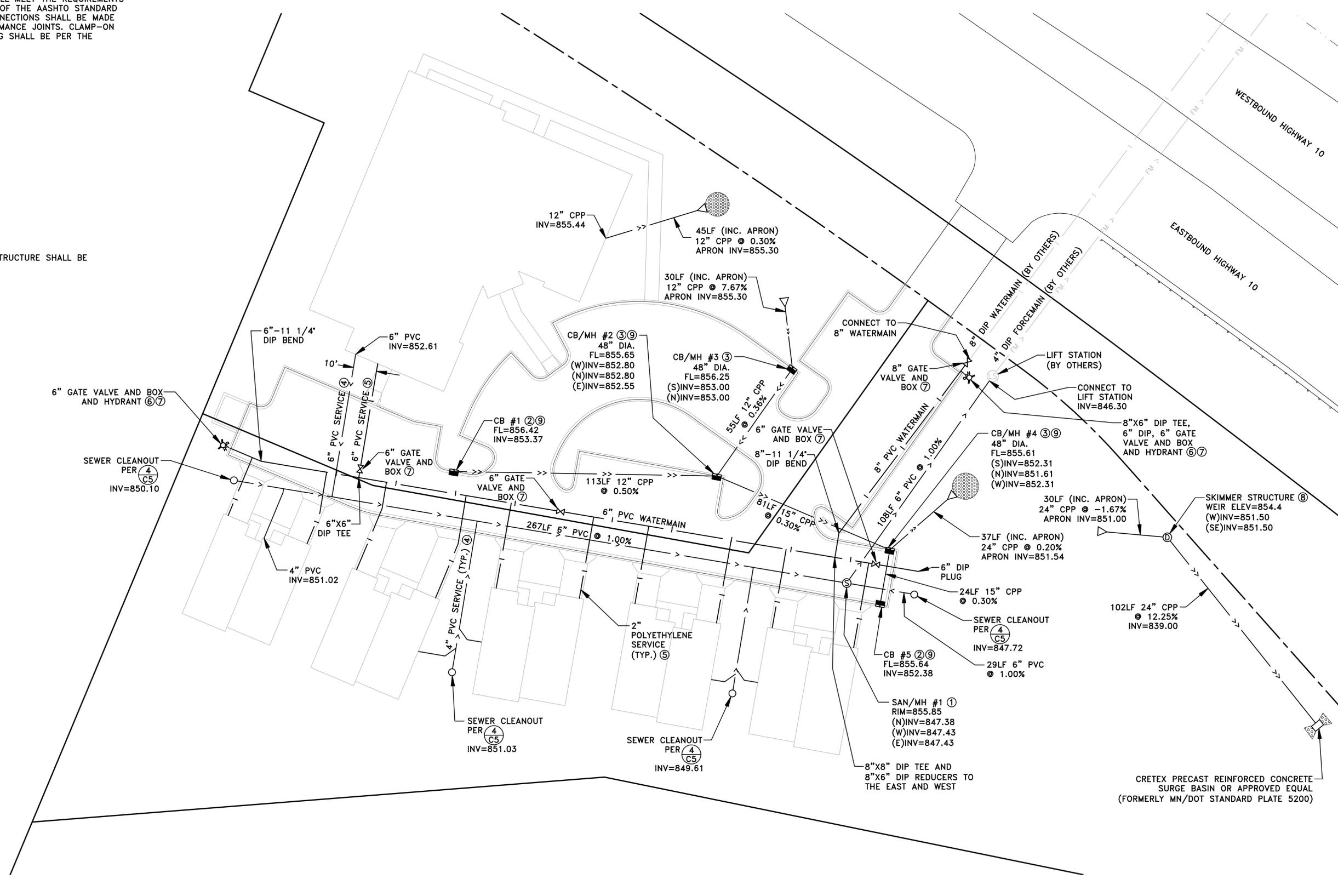
⑤ CONSTRUCT WATER SERVICE PER $\frac{6}{C6}$.

⑥ CONSTRUCT HYDRANT PER $\frac{5}{C5}$.

⑦ CONSTRUCT VALVE PER $\frac{3}{C5}$.

⑧ CONSTRUCT SKIMMER STRUCTURE PER $\frac{5}{C6}$.

⑨ CONNECTION BETWEEN THE PIPE AND THE STRUCTURE SHALL BE WATERTIGHT PER ASTM F2510/F2510M.



Mar 24, 2016 - 2:47pm K:\cad_eng\PROJECTS\MUNICIPAL\AN215\dwg\AN215UTILITY.dwg

DATE	REVISION
3/3/16	ISSUED FOR CITY REVIEW
3/24/16	REVISED UTILITIES

I hereby certify that this plan, specification, or report was prepared by me or under my direct supervision and that I am a duly Licensed Professional Engineer under the laws of the State of Minnesota.

Craig J. Jochum
 CRAIG J. JOCHUM, P.E.
 Date 2/26/16 Lic. No. 23461

DESIGNED BY: TAE
 DRAWN BY: TAE
 CHECKED BY: CJJ



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UTILITY PLAN

CITY OF ANOKA, MINNESOTA

SHEET C3 OF C6 SHEETS

GENERAL CONSTRUCTION AND SOILS NOTES:

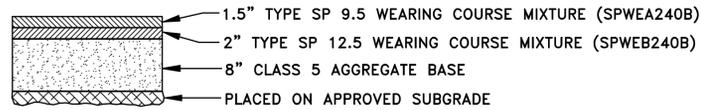
1. STRIP ALL INPLACE TOPSOIL IN AREAS TO BE DISTURBED BY CONSTRUCTION AND REUSE AS SLOPE DRESSING. IN AREAS OF PARKING LOT, SIDEWALK AND BUILDING CONSTRUCTION, THE EXPOSED SAND SHALL BE SURFACE COMPACTED TO AT LEAST 100% OF THE STANDARD PROCTOR MAXIMUM DRY DENSITY, ASTM D698, IN AT LEAST THE UPPER 3 FEET.
2. UNLESS OTHERWISE RECOMMENDED IN THESE PLANS, THE GRADING SUBGRADE SHALL BE CONSTRUCTED OF SUITABLE GRADING MATERIAL. THE FILL SHALL BE PLACED IN 8" TO 10" LOOSE LIFTS, AND COMPACTED TO 100% OF THE STANDARD PROCTOR MAXIMUM DRY DENSITY.
3. SUITABLE GRADING MATERIAL FOR THIS PROJECT SHALL CONSIST OF ALL SOILS ENCOUNTERED WITH THE EXCEPTION OF TOPSOIL, SILT, DEBRIS, ORGANIC MATERIAL AND OTHER UNSTABLE MATERIAL.
4. CONTRACTOR SHALL REVIEW THE "GEOTECHNICAL EXPLORATION REPORT" COMPLETED BY HAUGO GEOTECHNICAL SERVICES AND DATED MARCH 1, 2016 FOR ADDITIONAL SITE PREPARATION REQUIREMENTS.
5. WHEN PLACING NEW PAVEMENT ADJACENT TO INPLACE PAVEMENT CUT VERTICALLY TO THE BOTTOM OF INPLACE SURFACING OR TOP OF GRADING SUBGRADE, WHICHEVER IS DEEPER, AT A 1(V):2(H) TO THE BOTTOM OF EXCAVATION.
6. BITUMINOUS AND CONCRETE ITEMS DISTURBED BY CONSTRUCTION SHALL BECOME THE PROPERTY OF THE CONTRACTOR AND SHALL BE DISPOSED OF IN ACCORDANCE WITH MN/DOT SPECIFICATION 2104.3.
7. USE TACK COAT BETWEEN ALL BITUMINOUS MIXTURES. THE BITUMINOUS TACK COAT MATERIAL SHALL BE APPLIED AT A UNIFORM RATE OF 0.04 GAL/SY TO 0.06 GAL/SY BETWEEN BITUMINOUS LAYERS. THE APPLICATION RATES ARE FOR UNDILUTED EMULSIONS (AS SUPPLIED FROM THE REFINERY) OR MC AND RC LIQUID ASPHALTS. THE ASPHALT EMULSION MAY BE FURTHER DILUTED IN THE FIELD IN ACCORDANCE WITH MN/DOT SPECIFICATION 2357.
8. PERFORMANCE GRADED (PG) ASPHALT BINDER PG 58-28 SHALL BE USED FOR ALL BITUMINOUS MIXES ON THIS PROJECT. SPECIFIC PG GRADES SHALL BE STATED AT THE END OF THE MIX DESIGNATION NUMBER SHOWN ON THE TYPICAL SECTIONS.
9. THE BITUMINOUS MIXTURES SHALL MEET THE REQUIREMENTS OF MN/DOT SPECIFICATIONS 2360 AND 3139.
10. ALL DISTURBED AREAS SHALL BE RESTORED WITH 4" OF TOPSOIL AND EITHER SOD OR SEED MIXTURE 25-131 AND TYPE 1 MULCH MATERIAL, DISK ANCHORED.

GENERAL EROSION CONTROL NOTES:

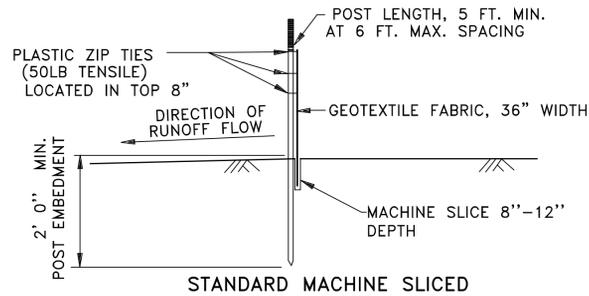
1. EROSION CONTROL SHALL CONFORM TO THE MN/DOT EROSION CONTROL HANDBOOK.
2. PRIOR TO ANY CONSTRUCTION ACTIVITIES, THE CONTRACTOR SHALL ACQUIRE THE NECESSARY MPCA NPDES STORMWATER PERMIT.
3. THE CONTRACTOR SHALL INSTALL EROSION AND SEDIMENT CONTROL FACILITIES (BMP'S) PRIOR TO GRADING AND REMOVAL ACTIVITIES. BMP'S SHALL BE MAINTAINED FOR THE DURATION OF CONSTRUCTION ACTIVITIES AND POTENTIAL FOR EROSION HAS PASSED.
4. THE CONTRACTOR SHALL SCHEDULE HIS OPERATION TO MINIMIZE THE AMOUNT OF DISTURBED AREA AT ANY GIVEN TIME.
5. BMP'S SHALL BE INSPECTED DAILY BY THE CONTRACTOR. OBSERVATIONS SHALL BE RECORDED IN THE INSPECTION LOG.
6. ALL EROSION AND SEDIMENT CONTROL MEASURES SHALL BE PROPERLY DISPOSED OF WITHIN THIRTY (30) DAYS AFTER FINAL SITE STABILIZATION.
7. THE CONTRACTOR SHALL FILE A NOTICE OF TERMINATION WITH THE MPCA AFTER FINAL STABILIZATION HAS BEEN APPROVED.
8. CONTRACTOR SHALL COMPLY WITH ALL REQUIREMENTS OF THE STORMWATER POLLUTION PREVENTION PLAN.

LEGEND

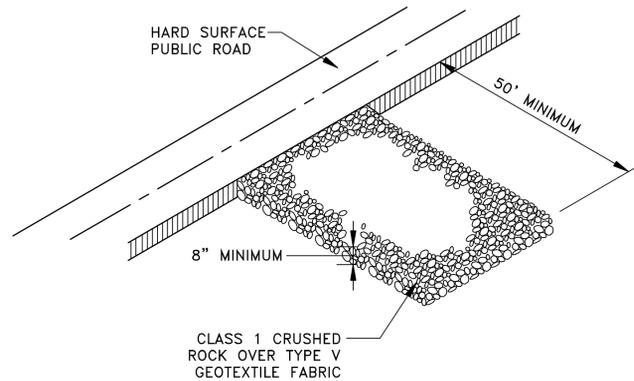
- 906 --- EXISTING CONTOUR
- 906 — PROPOSED CONTOUR
- — — — — PROPERTY LINE
- --- EXISTING RIGHT-OF-WAY
- — — — — PROPOSED RIGHT-OF-WAY
- --- PROPOSED EASEMENT LINE
- P-OH OVERHEAD ELECTRIC
- T-BUR UNDERGROUND TELEPHONE
- G GAS MAIN
- ⊕ POWER POLE
- ⊙ GUY WIRE
- UTILITY PEDESTALS
- ⊕ SIGN
- >> EXISTING STORM SEWER
- ⊕ EXISTING CATCH BASIN
- >> PROPOSED STORM SEWER
- > PROPOSED SANITARY SEWER
- | PROPOSED WATERMAIN
- ▣ PROPOSED CATCH BASIN
- △ PROPOSED STORM SEWER APRON
- ⊗ PROPOSED WATER VALVE
- ⊕ PROPOSED HYDRANT
- ☀ CONIFEROUS AND DECIDUOUS TREES
- ▬ CONCRETE CURB & GUTTER
- SB-5 SOIL BORING—SEE GEOTECHNICAL REPORT
- ② DETAIL NUMBER
- C3 SHEET NUMBER



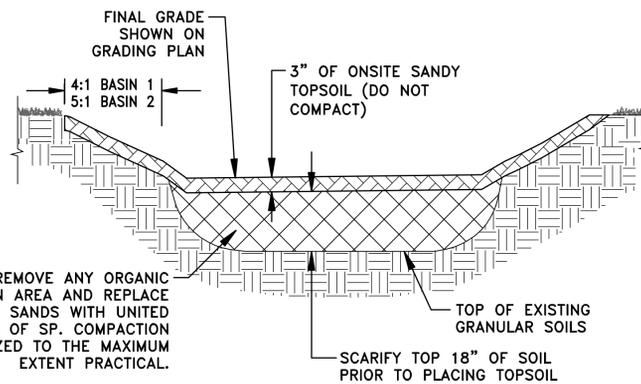
1 PAVEMENT SECTION
NO SCALE
C4



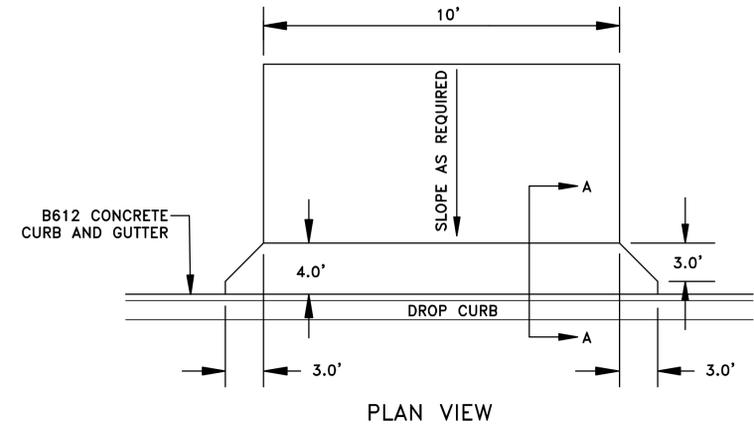
2 SILT FENCE DETAILS
C4



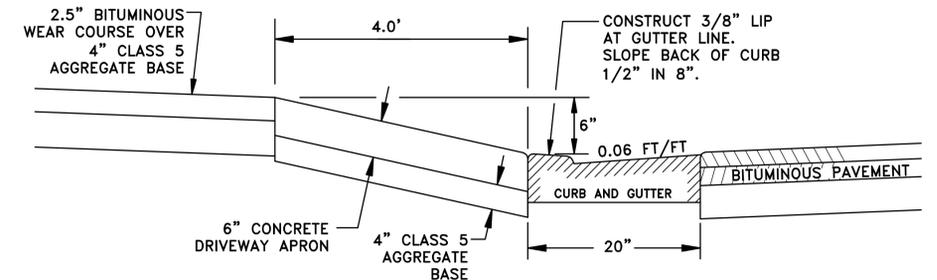
4 ROCK CONSTRUCTION ENTRANCE
C4



5 INFILTRATION BASIN
NO SCALE
C4



PLAN VIEW



SECTION A-A

3 DRIVEWAY DETAILS
C4

CONTRACTOR SHALL REMOVE ANY ORGANIC SOIL IN INFILTRATION AREA AND REPLACE WITH SIMILAR NATIVE SANDS WITH UNITED SOIL CLASSIFICATION OF SP. COMPACTION SHALL BE MINIMIZED TO THE MAXIMUM EXTENT PRACTICAL.

Mar 02, 2016 - 4:27pm K:\cad_eng\PROJECTS\MUNICIPAL\AN215\dwg\AN215DETAILS.dwg

DATE	REVISION
3/3/16	ISSUED FOR CITY REVIEW

I hereby certify that this plan, specification, or report was prepared by me or under my direct supervision and that I am a duly Licensed Professional Engineer under the laws of the State of Minnesota.

Craig J. Jochem
 CRAIG J. JOCHEM, P.E.
 Date 2/26/16 Lic. No. 23461

DESIGNED BY: TAE
 DRAWN BY: TAE
 CHECKED BY: CJJ

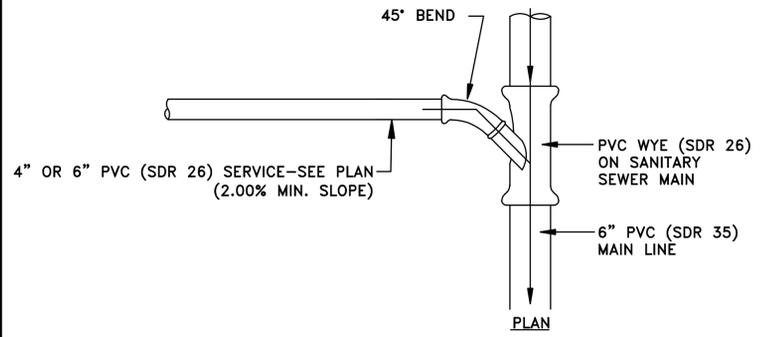


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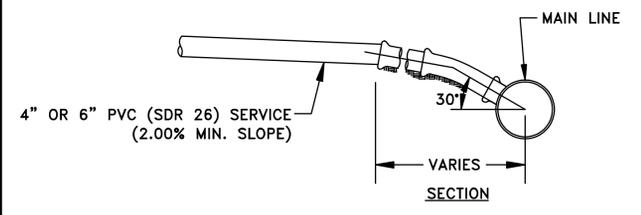
RIVERPLACE COUNSELING CENTER

CONSTRUCTION NOTES, DETAILS AND PROJECT LEGEND
 CITY OF ANOKA, MINNESOTA

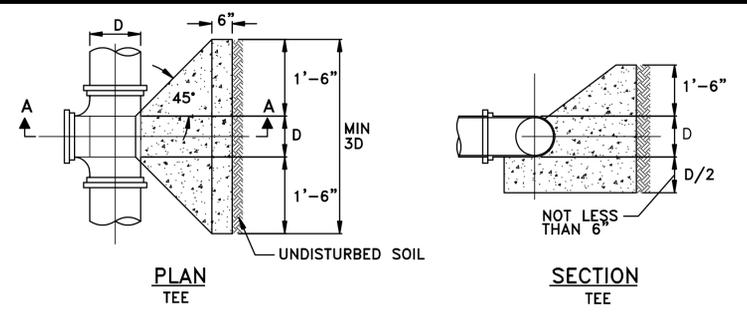
SHEET C4 OF C6 SHEETS



1 TYPICAL PVC SEWER SERVICE
C5 NO SCALE

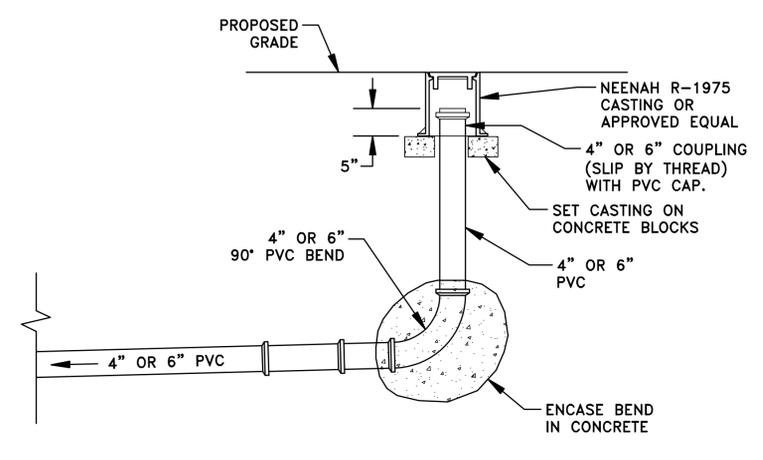


2 WATERMAIN THRUST BLOCKING DETAIL
C5 NO SCALE

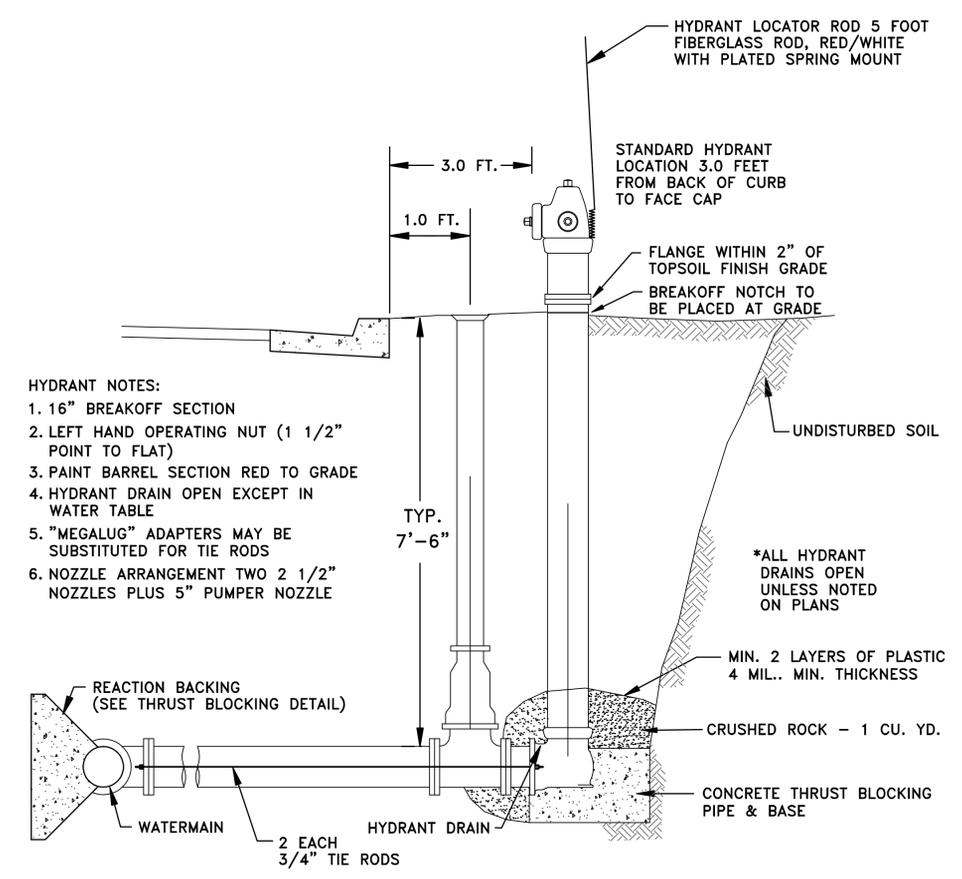


3 TYPICAL RESILIENT WEDGE VALVE & BOX INSTALLATION
C5 NO SCALE

REFERENCE NOTES:
 ① HIGH DENSITY POLYETHYLENE ADJUSTMENT RINGS SHALL BE USED FOR ALL SANITARY SEWER MANHOLES AND STORM SEWER MANHOLES WITH SOLID LIDS (NON-INLET TYPE). ALL INLET TYPE STORM SEWER CASTINGS SHALL USE CONCRETE ADJUSTMENT RINGS. THE CONTRACTOR SHALL USE STANDARD AVAILABLE RING THICKNESSES THAT MINIMIZE THE NUMBER OF RINGS REQUIRED. A MAXIMUM OF 3 RINGS SHALL BE USED FOR ADJUSTMENT. THE MINIMUM ADJUSTMENT HEIGHT SHALL BE 4 INCHES AND THE MAXIMUM ADJUSTMENT HEIGHT SHALL BE 8 INCHES.
 ② ALL PIPE BENDS AND FITTINGS REQUIRE THRUST BLOCKING AND SERIES 2000PV MEGALUG MECHANICAL JOINT RESTRAINTS AS MANUFACTURED BY EBBA IRON, INC. OR APPROVED EQUAL.
 ③ CONTRACTOR SHALL USE A VALVE STEM ALIGNMENT TUBE TOOL TO MAINTAIN VERTICAL ALIGNMENT WHEN BACKFILLING THE VALVE BONNET AND VALVE BOX ASSEMBLY. THE ALIGNMENT TUBE SHALL CONSIST OF METAL PIPE WITH A SQUARE NUT RECEIVER SECURELY FASTENED TO THE END FOR PLACEMENT ON THE VALVE OPERATING NUT.

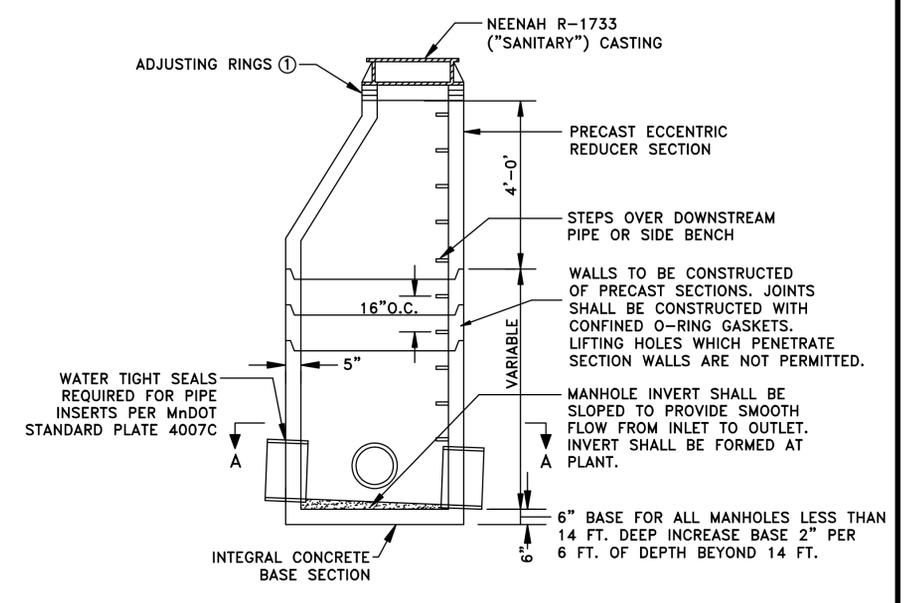
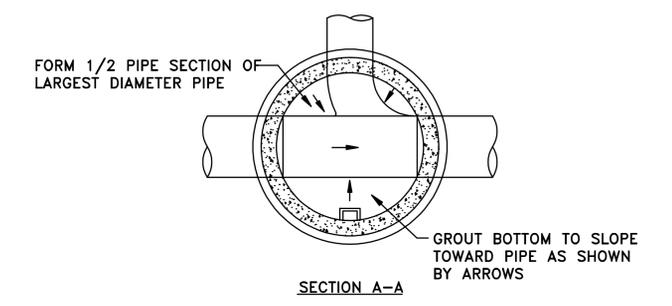


4 SANITARY SEWER CLEANOUT
C5 NO SCALE



5 HYDRANT DETAIL
C5 NO SCALE

HYDRANT NOTES:
 1. 16" BREAKOFF SECTION
 2. LEFT HAND OPERATING NUT (1 1/2" POINT TO FLAT)
 3. PAINT BARREL SECTION RED TO GRADE
 4. HYDRANT DRAIN OPEN EXCEPT IN WATER TABLE
 5. "MEGALUG" ADAPTERS MAY BE SUBSTITUTED FOR TIE RODS
 6. NOZZLE ARRANGEMENT TWO 2 1/2" NOZZLES PLUS 5" PUMPER NOZZLE



6 STANDARD SANITARY SEWER MANHOLE
C5 NO SCALE

Mar 02, 2016 - 3:48pm K:\cad_eng\PROJECTS\MUNICIPAL\AN215\dwg\AN215DETAILS.dwg

DATE	REVISION
3/3/16	ISSUED FOR CITY REVIEW

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 Date 2/26/16
 Lic. No. 23461

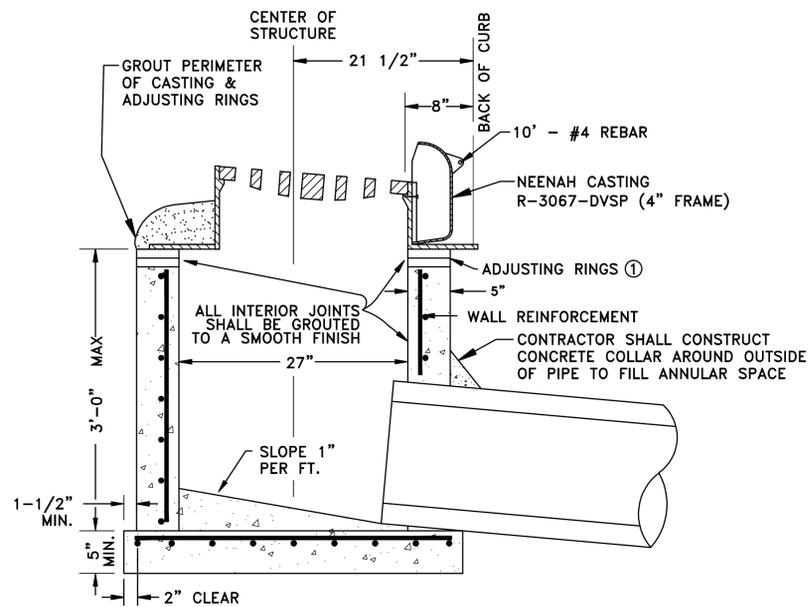
DESIGNED BY: TAE
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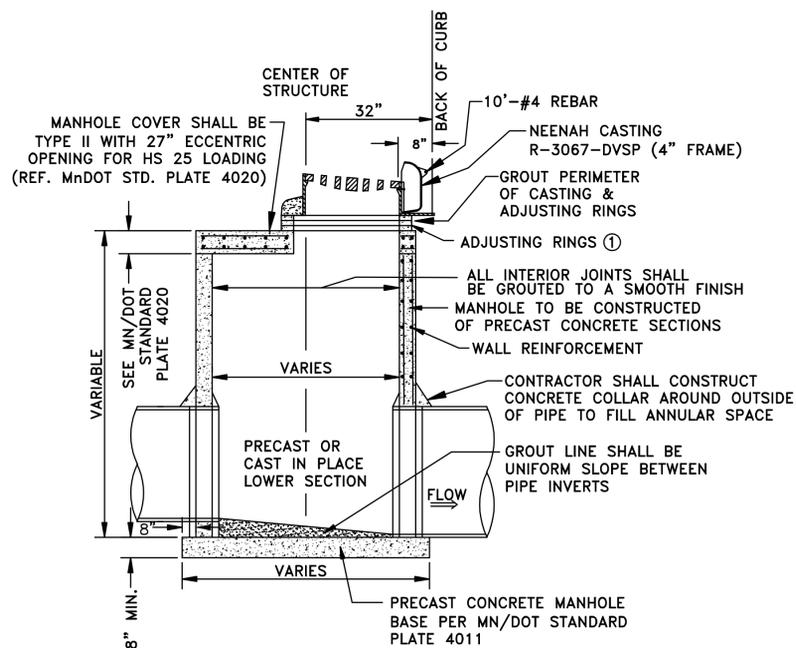
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DETAILS
 CITY OF ANOKA, MINNESOTA

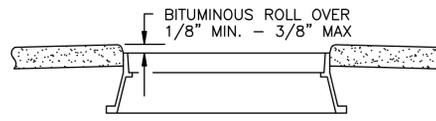
SHEET C5 OF C6 SHEETS



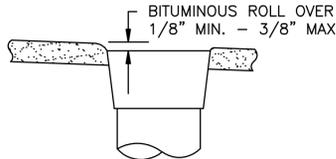
1 STANDARD CATCH BASIN
C6 (REF. Mn/DOT STANDARD PLATE 4006 DESIGN H) NO SCALE



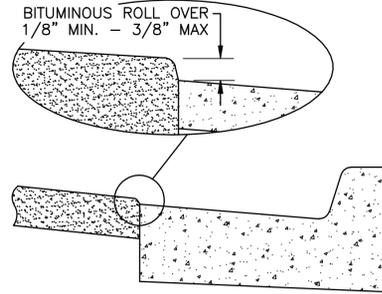
2 STANDARD CATCH BASIN MANHOLE
C6 NO SCALE



PAVING AT MANHOLE DETAIL

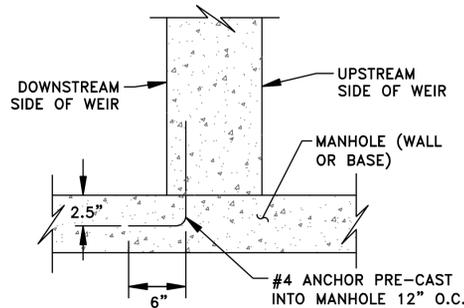


PAVING AT VALVE BOX DETAIL



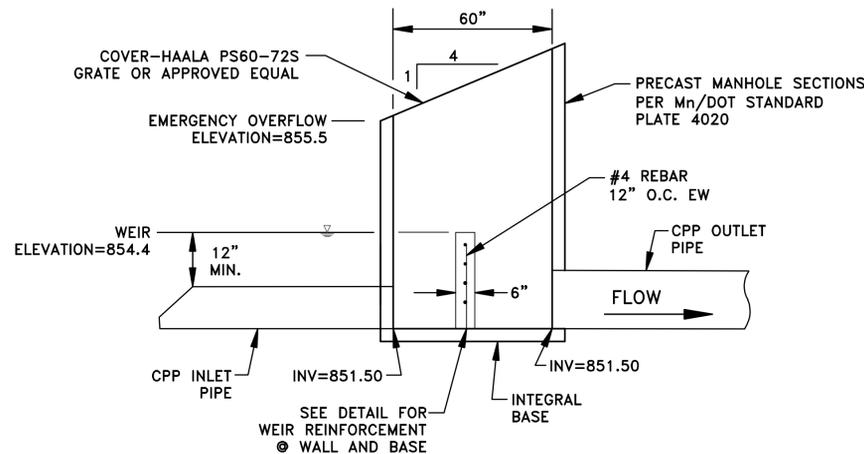
PAVING AT CURB DETAIL

3 PAVING DETAILS
C6 N.T.S.

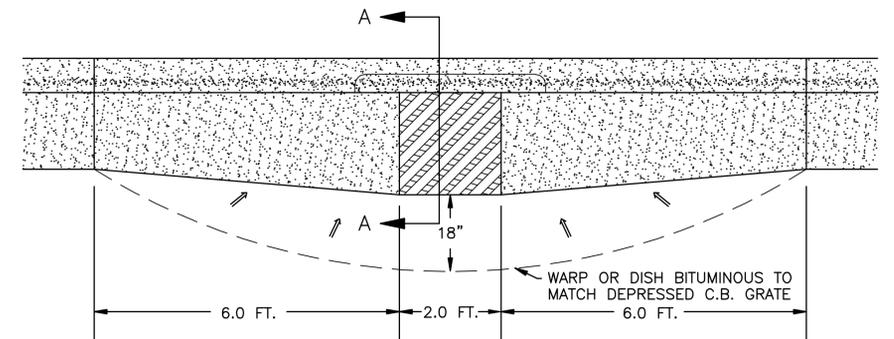


NOTES:
1. THE FOLLOWING MAY BE USED AS AN ALTERNATIVE TO THE PRE-CAST ANCHORS: HVA ADHESIVE ANCHOR SYSTEM, WITH HVA ADHESIVE CAPSULES AND #5 REBAR, AS MANUFACTURED BY HILTI CORP OR APPROVED EQUAL.
2. REINFORCEMENT BARS IN WEIR NOT SHOWN.

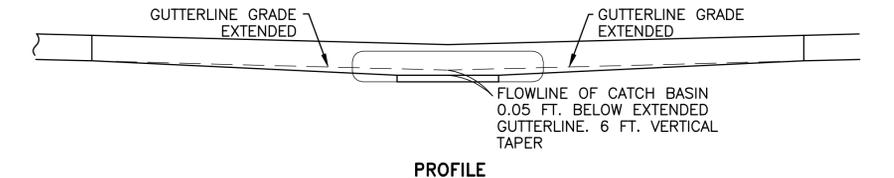
WEIR REINFORCEMENT @ WALL AND BASE



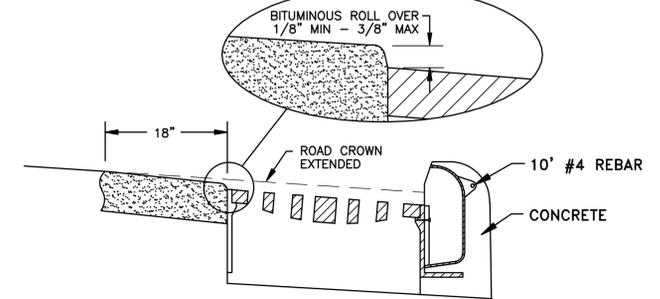
5 SKIMMER STRUCTURE DETAIL
C6 NO SCALE



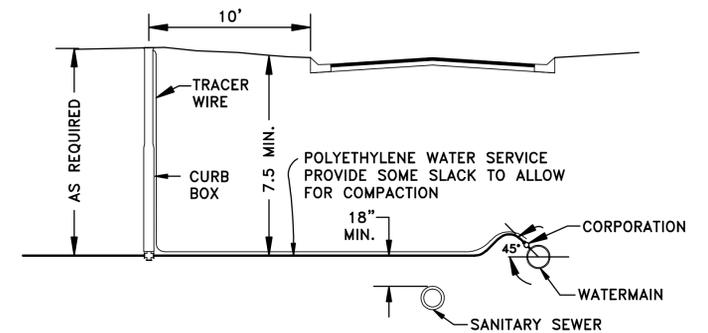
PLAN



PROFILE



SECTION A-A
4 CURB CONSTRUCTION AT CATCH BASIN DETAIL
C6



6 WATER SERVICE DETAIL
C6 NO SCALE

REFERENCE NOTES:
① HIGH DENSITY POLYETHYLENE ADJUSTMENT RINGS SHALL BE USED FOR ALL SANITARY SEWER MANHOLES AND STORM SEWER MANHOLES WITH SOLID LIDS (NON-INLET TYPE). ALL INLET TYPE STORM SEWER CASTINGS SHALL USE CONCRETE ADJUSTMENT RINGS. THE CONTRACTOR SHALL USE STANDARD AVAILABLE RING THICKNESSES THAT MINIMIZE THE NUMBER OF RINGS REQUIRED. A MAXIMUM OF 3 RINGS SHALL BE USED FOR ADJUSTMENT. THE MINIMUM ADJUSTMENT HEIGHT SHALL BE 4 INCHES AND THE MAXIMUM ADJUSTMENT HEIGHT SHALL BE 8 INCHES.

Mar 02, 2016 - 3:51pm
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DATE	REVISION
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I hereby certify that this plan, specification, or report was prepared by me or under my direct supervision and that I am a duly Licensed Professional Engineer under the laws of the State of Minnesota.
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RIVERPLACE COUNSELING CENTER

DETAILS

CITY OF ANOKA, MINNESOTA

SHEET C6 OF C6 SHEETS

COUNCIL MEMO FORM

9.2

Meeting Date	May 2, 2016
Agenda Section	Ordinances & Resolutions
Item Description	RES/Recommended Approval of an LG214 Premise Permit for Northstar Search & Rescue at 10K Brewing
Submitted By	Amy Oehlers, City Clerk

BACKGROUND

The City has received a request from Northstar Search & Rescue, Golden Valley, MN, requesting that they be allowed to obtain a Premise Permit to operate gambling at 10K Brewing, 2005 2nd Ave. A premise permit allows an organization to sell pull tabs, tipboards, etc. The Minnesota Gambling Control Board is the entity that actually grants Premise Permits; however, MN GCB requires that the municipality in which the gambling takes place provide a recommendation or comment on the issuance of a premise permit.

A few years back, the Anoka City Council discussed “out of City” organizations that want to obtain a premise permit in Anoka. The Council chose to amend the City ordinance so that our local gambling organizations and non-profits are given the first option on operating gambling.

The priority set by the City Council for granting approval of a premise permit application and its location shall be as follows:

1. First priority given to organizations whose main office location is within the corporate limits of the City of Anoka.
2. Second priority given to organizations whose main office location is located within the Anoka Area Chamber of Commerce limits and whose main office location is within a City that allows an Anoka based organization to hold a premise permit within their corporate limits, and who is eligible to be granted a waiver from the eligibility requirements by the Anoka City Council.
3. Third priority is given to all other organizations that are eligible to be granted by waiver from the eligibility requirements by the Anoka City Council.

A letter was sent to our existing local premise permit holders and non-profits advising them of the application and opportunity to provide gambling at the above location. They were instructed that if they were interested in pursuing offering gambling at this location, that they must contact our office no later than April 22, 2016. No local organization expressed an interest to our office.

FINANCIAL IMPACT

There is no financial impact related to the adoption of the resolution. However, the local area does receive donations from the premise permit holders that operate in our City. That amount varies on how much they gross in their pull tab sales.

Section 14-192. Expenditures For Lawful Purposes.

During any year that an eligible organization is licensed to conduct gambling events, not less than fifty percent (50%) of its lawful purpose expenditures will be for lawful purposes conducted or located within the trade area. A report of the expenditures for lawful purposes within the trade area shall be provided to the City each month after the date of the adoption of this requirement. Additional reports may be required as determined by the City.

COUNCIL ACTION REQUESTED: Adopt the resolution.



2015 First Avenue, Anoka, MN 55303-
Phone: (763) 576-2700 Website: www.ci.anoka.mn.us

**CITY OF ANOKA, MINNESOTA
RESOLUTION**

RES-2016-

**RESOLUTION RECOMENDING THE ISSUANCE OF A STATE ISSUED LG214
GAMBLING LICENSE & PREMISE PERMIT FOR
NORTH STAR SEARCH & RESCUE;
AT 10K BREWING, 2005 2ND AVE, ANOKA, MINNESOTA**

WHEREAS, the applicant, North Star Search & Rescuse has requested approval of the issuance of a State issued Gambling License & Premise Permit to allow their organization to operate charitable gambling, which may include: pull-tabs, tipboards, paddlewheels and raffles; and

WHEREAS, the location in which they wish to operate such activity is 10K Brewing, 2005 2nd Ave, Anoka, Minnesota.

NOW, THEREFORE, BE IT RESOLVED, that the Anoka City Council does hereby recommend to the State of Minnesota, the issuance of the Gambling License & Premise Permit for North Star Search & Rescue, to operate charitable gambling activities, as described above, at 10K Brewing, 2005 2nd Ave, located in the City of Anoka, Anoka County, Minnesota.

Adopted by the Anoka City Council this 2nd day of May 2016.

ATTEST:

Amy Oehlers, City Clerk

Phil Rice, Mayor



- Home
- News and Events
- About Us
- Our Members
- Prospective Members
- Training
- K9 Disciplines
- Standards
- Wish List
- Donations
- Demos and Kids Stuff
- Networking
- Photos
- Contact Us
- Mobile Command Unit

Northstar Search and Rescue is an all volunteer nonprofit 501(c)3 organization and has been in existence for the past two decades. We bring our skills and experience to assist Law Enforcement in finding and recovering lost persons.

Our dogs are trained in urban, wilderness and water search techniques. Our training and education is ongoing as we strive to be up to date with the latest in operational procedures. This training is paid for by each individual, as well as, his/her equipment, travel expenses, and costs incurred regarding their canine.

Our Team is also active in the community. We conduct educational programs directed toward preventing children and others from becoming lost, as well as, informing them of the best actions to take should they become lost.



COUNCIL MEMO FORM

9.3

Meeting Date	May 2, 2016
Agenda Section	9. Ordinances & Resolutions
Item Description	RES/Approval of Purchase Agreement; Dennis & Beverly Medved
Submitted By	Carolyn Braun, Planning Director

BACKGROUND INFORMATION

Consistent with past discussions, attached is the real property exchange agreement that facilitates the exchange of land between the City of Anoka and Dennis and Beverly Medved. The land acquired from the Medved's will be incorporated into the City's River Walk project in the South Ferry Street corridor. The land acquired by the Medved's will be used for the development of a counseling center with on-site client residential facilities. In addition to the exchange, the City of Anoka will pay additional consideration to the Medved's in the amount of \$3,150,000.00.

Attachments include the real property exchange agreement and a resolution to approve the agreement.

FINANCIAL IMPACT

City of Anoka will pay additional consideration to the Medved's in the amount of \$3,150,000.00.

COUNCIL ACTION REQUESTED

Approve the real property exchange agreement that facilitates the exchange of land between the City of Anoka and Dennis and Beverly Medved.



2015 First Avenue, Anoka, MN 55303
Phone: (763) 576-2700 Website: www.ci.anoka.mn.us

**CITY OF ANOKA, MINNESOTA
RESOLUTION**

RES-2016-XX

APPROVAL OF REAL PROPERTY EXCHANGE AGREEMENT

WHEREAS, Dennis and Beverly Medved (the Medveds) are the owners of property located at 1810 S. Ferry Street, 1814 S. Ferry Street – Building A, 1814 S. Ferry Street – Building B, 1850 S. Ferry Street and 205/207 Fremont Street;

WHEREAS, the City wishes to purchase the Medved property as described above with the costs being comprised of the transfer of City owned land and money;

WHEREAS, the City is owner of property located at 6058 Highway 10 and described as:

Property Identification Numbers 35-32-25-31-0001 and 35-32-25-31-0004.

WHEREAS, the Medveds are interested in purchasing and developing a counseling center with on-site client residential facilities on the City Property; and

WHEREAS, the City of Anoka and the Medveds wish to enter into a real property exchange agreement, hereto attached subject to minor revisions that will remove due diligence requirements as reviewed and approved by the City Attorney, outlining criteria for the transfer and purchase of City and the Medveds properties;

NOW, THEREFORE, BE IT RESOLVED that the Anoka City Council hereby approves the real property exchange agreement that facilitates the exchange of land between the City of Anoka and the Medveds.

Adopted by the Anoka City Council this the 2nd day of May 2016.

ATTEST:

Amy T. Oehlers, City Clerk

Phil Rice, Mayor

REAL PROPERTY EXCHANGE AGREEMENT

This Purchase Agreement (the "Agreement") is made this ____ day of _____, 2016 by and between the **CITY OF ANOKA**, a Minnesota municipal corporation ("City") and **DENNIS AND BEVERLY MEDVED** ("Medved").

RECITALS

A. City is the fee owner of certain real property, situated in Anoka County, Minnesota and described on attached **Exhibit A** ("City Land").

B. Medved is the fee owner of improved real property in Anoka County, Minnesota and described on attached **Exhibit B** ("Medved Property"), which is improved with several buildings and other improvements operated by Riverplace Counseling Center, Inc. ("Riverplace") as a tenant of Medved

C. The City desires to acquire the Medved Property to further economic growth in the community.

D. Medved is willing to convey the Medved Property to the City in exchange for the City Land and additional consideration as provided in this Agreement, which will allow for relocation of Riverplace to new improvements to be constructed on the City Land by Medved.

E. The City Land and Medved Property are collectively referred to hereunder as "Properties."

NOW, THEREFORE, THE PARTIES AGREE AS FOLLOWS:

1. Offer/Acceptance. In consideration of the agreements herein contained, the City agrees that it will convey the City Land and the Cash Consideration (defined below) to Medved and Medved agrees that it will concurrently convey the Medved Property to the City.

2. Closing. Each conveyance contemplated by this Agreement is contingent upon the successful closing of the other conveyance. Unless terminated earlier or extended as provided in this Agreement, the date for closing the exchange and conveyance of the Properties contemplated by this Agreement (the "Closing") shall occur in escrow through the offices of the Commercial Partners Title, LLC ("Title Company") on a date mutually agreed to by the parties but not later than June 30, 2016 (as determined in accordance with this Agreement, the "Closing Date").

2.1 Cash Consideration. The parties agree that in addition to the Properties to be exchanged and the performance of the other obligations under this Agreement, at Closing the City shall pay additional consideration to Medved in the amount of Three Million One Hundred Fifty Thousand and no/100 Dollars (\$3,150,000.00) in cash or equivalent funds (the "Cash Consideration"). Costs incurred by the City for Site

Preparation Work, as set forth in Section 7.2.5, shall be deducted from the overall Cash Consideration.

2.2 Like-Kind Exchange. The City acknowledges that Medved intends to structure its sale of the Medved Property and acquisition of the City Land as a like-kind exchange, through Commercial Partners Exchange Company, LLC, as Qualified Intermediary, and CPEC Exchange 40733, LLC, a special purpose entity formed by Commercial Partners Exchange Company to serve as an Exchange Accommodation Titleholder ("EAT"), under Section 1031 of the Internal Revenue Code. The City agrees to cooperate with Medved in effecting the like-kind exchange; provided that (i) neither party shall be allowed to delay the closing hereunder and (ii) the City shall not be obligated to take title to any property other than the Medved Property as otherwise contemplated in this Agreement or incur additional expense for the benefit of Medved. Further, if necessary to accommodate the tax deferred exchange, the City shall convey the City Property to the Qualified Intermediary or the EAT and deposit all or any part of the Cash Consideration with the Qualified Intermediary or the EAT.

2.3 Medved Closing Obligations. On the Closing Date, Medved shall execute and deliver to City:

2.3.1 The duly executed limited warranty deed to the Medved Property conveying title to the City free and clear of all liens and encumbrances except the following items (allowable encumbrances):

- a. Building and zoning laws, ordinances, state and federal statutes or other governmental regulations;
- b. Real estate taxes for which the City is responsible pursuant to Section 4.4.2;
- c. Those items approved by the City pursuant to Section 4.2; and
- d. Reservation of any minerals or mineral rights in the State of Minnesota.

2.3.2 A customary affidavit indicating as of the Closing Date that there are no unsatisfied judgments of record, no actions pending in any state or federal courts, no tax liens, and no bankruptcy proceeding filed against Medved, and no labor or materials have been furnished to the Medved Property for which payment has not been made, and that there are no unrecorded interests relating to the Medved Property.

2.3.3 Such other documents as may be reasonably required by the Title Company or the Qualified Intermediary.

2.3.4 A net lease for the Medved Property, providing Medved and Riverplace the right to continue in possession of the Medved Property for a

period of time after the Closing Date pursuant to Section 2.5 (the "**Lease**").

2.4 City Closing Obligations. On the Closing Date, the City shall execute and deliver to Medved:

2.4.1 The duly executed limited warranty deed to the City Land conveying title to Medved (or its designated qualified intermediary) free and clear of all liens and encumbrances except the following items (allowable encumbrances):

- a. Building and zoning laws, ordinances, state and federal statutes or other governmental regulations;
- b. Real estate taxes for which Medved is responsible pursuant to Section 4.4.2;
- c. Those items approved by Medved pursuant to Section 4.1; and
- d. Reservation of any minerals or mineral rights in the State of Minnesota.

2.4.2 A customary affidavit that there are no unsatisfied judgments of record, no actions pending in any state or federal courts, no tax liens, and no bankruptcy proceeding filed against City, and no labor or materials have been furnished to the City Land for which payment has not been made, and that there are no unrecorded interests relating to the City Land.

2.4.3 The Lease.

2.4.4 Such other documents as may be reasonably required by the Title Company or the Qualified Intermediary.

2.5 Possession after closing. For no additional consideration, Medved and its tenant, Riverplace, shall have the right to maintain possession of the Medved Property until a date that is no later than 60 days after Medved receives a certificate of occupancy from the City of Anoka and any other governmental approvals necessary or desirable for the conduct of business by Riverplace, pursuant to the Lease, which shall be a net lease under which Medved or Riverplace shall be responsible for all costs of owning and operating the Medved Property and for indemnification of the City against any liability arising from the use of the Medved Property by Medved or Riverplace. Medved shall make a good faith effort to obtain a certificate of occupancy within 180 days after the Closing.

2.6 Removal of Personal Property and Salvage. Until Riverplace surrenders possession of the Medved Property, Riverplace and Medved shall each have the right to remove personal property from the Medved Property, including without limitation furnishings and fixtures owned by Riverplace (which shall not in any event be included in the Medved Property acquired by the City under this

Agreement) and the following items located in 1814 South Ferry St. Building "B" (whether or not such items may otherwise be considered to be "real property" that is included in the Medved Property): (1) stained glass window, (2) oak pocket door and (3) fireplace mantle.

3. Environmental Investigation.

3.1 City Land. City agrees within five (5) days after the date of this Agreement, to provide Medved with copies of all reports in City's possession or control relating to (i) the environmental condition of the City Land, (ii) governmental notices affecting the property including all tax bills, and (iii) copies of any documents executed by City that have created third party rights in the City Land that have not been recorded in the Anoka County land records. Medved and its agents shall have the right to enter upon the City Land for the purpose of inspecting the City Land and conducting such environmental examination and tests as Medved deems necessary. Medved agrees to indemnify City against any liens, claims, losses, or damage occasioned by Medved's exercise of its right to enter and inspect the City Land. Medved agrees to provide the City with copies of environmental reports, if any, that Medved obtains as the result of Medved's inspection and examination of the City Land.

3.2 Medved Property. Medved agrees, within five (5) days after the date of this Agreement, to provide City with copies of all reports in Medved's possession or control relating to (i) the environmental condition of the Medved Property, (ii) governmental notices affecting the Medved Property including tax bills, and (iii) copies of any documents executed by Medved that have created third party rights in the Medved Property that have not been recorded in the Anoka County land records. The City and its agents shall have the right to enter upon Medved Property for the purpose of inspecting the Medved Property and conducting such environmental examination and tests as the City deems necessary. The City agrees to indemnify Medved against any liens, claims, losses, or damage occasioned by City's exercise of its right to enter and inspect the Medved Property. The City agrees to provide Medved with copies of environmental reports, if any, that the City obtains as the result of the City's inspection and examination of the Medved Property. An entrance on the Medved Property before the Closing Date shall be subject to the rights of Riverplace as tenant. Any access to the interior of any improvements on the Medved Property shall be scheduled with Riverplace and shall be subject to any reasonable restrictions Riverplace may impose.

3.3 Environmental Contingency. If Medved is not satisfied with the condition of the City Land, or the City is not satisfied with the condition of the Medved Property, each in its sole discretion, then the dissatisfied party shall have the right, in its sole discretion, to terminate this Agreement.

4. Title and Prorations. The City and Medved agree to the following prorations and allocation of costs regarding this Agreement:

4.1 Title Insurance for City Land.

4.1.1 Within twenty (20) days after the date of this Agreement, the City shall provide Medved with a commitment for an owner's policy of title insurance for the City Land, naming Medved as the proposed insured and copies of all the underlying documents mentioned in such commitment.

4.1.2 As of the date of this Agreement, the City has provided to Medved a certified ALTA survey of the City Land.

4.1.3 Medved shall have ten (10) days after the receipt of the title commitment and copies of all the underlying documents, to make written objections to matters disclosed in the title commitment and the survey, if any. Unless timely made in writing, objections will be deemed waived.

4.1.4 If Medved makes any objections to the condition of title to the City Land within the 10-day review period, the City shall endeavor to cure any such objections before the Closing Date. If the City does not cure such title defects before the Closing Date, then Medved may elect in its sole discretion to waive the objections and proceed to Closing or terminate this Agreement by notice to the City, in which event this Agreement shall be null and void and of no further force or effect.

4.2 Title Insurance for Medved Property.

4.2.1 Within twenty (20) days after the date of this Agreement, Medved shall provide the City with a commitment for an owner's policy of title insurance for the Medved Property, naming the City as the proposed insured, and copies of all the underlying documents mentioned in such commitment.

4.2.2 The City may, in its discretion and at its expense, obtain a survey of the Medved Property.

4.2.3 The City shall have ten (10) days after the receipt of the title commitment and copies of all underlying documents, to make written objections to matters disclosed in the title commitment and the survey obtained by the City, if any. Unless timely made in writing, objections will be deemed waived.

4.2.4 If the City makes any objections to the condition of title to the Medved Property within the 10-day review period, Medved shall endeavor to cure any such objections before the Closing Date. If Medved does not cure such title defects before the Closing Date, then at the City's option, and as the City's sole remedy, the City may waive its objections and proceed to Closing or terminate this Agreement by notice to Medved, in which event this Agreement shall be null and void and of no further force or effect.

4.3 Deed Tax. The City shall be responsible for payment of state deed tax for the deed to the Medved Property. Medved shall be responsible for payment of the state deed tax for the deed to the City Land.

4.4 Real Estate Taxes and Special Assessments.

4.4.1 City Land. General real estate taxes and installments of special assessments payable in the years prior to the year of the Closing will be paid by the City. General real estate taxes and installments of special assessments payable in the year of the Closing, if any, shall be prorated by the City and Medved as of the Closing Date on a per diem basis based upon a calendar year. The City shall pay on or before the Closing Date all pending special assessments that are due prior to the Closing. The City shall pay at Closing any deferred real estate taxes or special assessments payment of which is required as a result of the Closing of this Agreement. Medved shall be liable for real estate taxes and special assessments due and payable in the year following Closing and thereafter.

4.4.2 Medved Property. General real estate taxes and installments of special assessments payable in the years prior to the year of the Closing will be paid by Medved. General real estate taxes payable in the year of the Closing, if any, shall be prorated by Medved and the City as of the Closing Date on a per diem basis based upon a calendar year. Medved shall pay on or before the Closing Date all pending special assessments that are due prior to the Closing. Medved shall pay at Closing any deferred real estate taxes or special assessments payment of which is required as a result of the Closing of this Agreement. The City shall be liable for real estate taxes and special assessments due and payable in the year following Closing and thereafter.

4.5 Recording Costs. The City will pay the cost of recording all documents necessary to place record title to the Properties in the party to which it is conveyed in the condition warranted by the parties in this Agreement, the cost of recording the deeds and the cost of the title insurance premium, commitment and searches for both Properties.

5. City's Covenants, Representations and Warranties. The City hereby covenants, represents and warrants to Medved, as of the date of this Agreement and as of the Closing Date, as follows:

5.1 No Breach. The consummation of the transactions contemplated by this Agreement will not constitute a default or result in the breach of any term or provision of any contract or agreement to which the City is a party so as to adversely affect the consummation of such transactions.

5.2 Authority. The execution, delivery and performance of this Agreement by the City has been authorized and approved by the City, and the person executing this Agreement on behalf of the City has full authority to bind the City to the terms hereof.

5.3 No Actions. There is no action, suit, legal proceeding, investigation, condemnation or other proceeding pending or threatened against the City which may adversely affect the consummation of the transactions contemplated by this Agreement or

affecting any portion of the City Land, in any court, before any arbitrator of any kind or before or by any governmental body.

5.4 Liens. All work which has been performed in, on or about the City Land or materials furnished thereto by the City or the City's contractors which might, in any circumstances, give rise to a mechanic's or materialman's lien has been paid for or all necessary waivers of right to a mechanic's or materialman's lien have been obtained.

5.5 Wells. The City certifies that the City does not know of any "Wells" on the described City Land within the meaning of Minn. Stat. Chapter 103I, except as disclosed herein. This representation is intended to satisfy the requirements of that statute.

5.6 Title to City Land. The City owns the City Land, free and clear of all encumbrances.

5.7 Environmental Laws. To the best of the City's knowledge, no toxic or hazardous substances or wastes, pollutants or contaminants (as defined in applicable federal or state laws or local ordinances) have been generated, treated, stored, released or disposed of, or otherwise placed, deposited in or located on the City Land, nor has any activity been undertaken on the City Land that would cause or contribute to (i) the City Land to become a treatment, storage or disposal facility as defined in any federal or state law or local ordinance, (ii) a release or threatened release of toxic or hazardous substances or wastes, pollutants or contaminants, from the City Land as prohibited by any federal or state law or local ordinance, or (iii) the discharge of pollutants or effluents into any water source or system, the dredging or filling of any waters or the discharge into the air of any emissions, that would require a permit under any federal or state law or local ordinance. To the best of the City's knowledge, there are no toxic or hazardous substances or wastes, pollutants or contaminants or other environmental conditions in or on the City Land that may support a claim or cause of action under federal or state law or local ordinances or other environmental regulatory requirements. To the best of the City's knowledge, no part of the City Land is a "Wetland", as defined by law. The City will disclose to Medved all environmental reports and studies with respect to the City Land which are in the City's possession or control.

5.8 Storage Tanks. To the best of the City's knowledge, there are no above-ground or underground tanks in or about the City Land. To the extent such storage tanks exist, each will be duly registered with all appropriate regulatory and governmental bodies and will be removed or brought into compliance with applicable federal, state and local statutes, regulations, ordinances and other regulatory requirements at the City's expense.

5.9 Medved's Use. The City knows of no condition affecting the City Land that has not been disclosed to Medved in writing that would prevent Medved from developing the City Land as a drug and alcohol rehabilitation and treatment center and as State of Minnesota Department of Health licensed "Lodging Establishments" (MS 157.17) or for future use of the "Fellowship Place" plat for City of Anoka Zoning designated commercial and residential purposes.

5.10 New Contracts. The City shall not, without the prior written consent of Medved, enter into or consent to any lease, easement, covenant, purchase agreement, option, or other obligation affecting the condition of the City Land or that cannot be terminated on or prior to Closing as it relates to the City Land.

The City will indemnify Medved, its successors and assigns, against, and will hold Medved, its successors and assigns, harmless from, any expenses or damages, including reasonable attorneys' fees, that Medved incurs because of the breach of any of the above representations and warranties, whether such breach is discovered before or after Closing. Consummation of this Agreement by the Medved with knowledge of any such breach by the City will not constitute a waiver or release by Medved of any claims due to such breach. The covenants, representations, and warranties contained in this Section shall survive the Closing for one (1) year.

6. Medved's Covenants, Representations and Warranties. Medved hereby covenants, represents and warrants to the City, as of the date of this Agreement and as of the Closing Date, as follows:

6.1 No Breach. The consummation of the transactions contemplated by this Agreement will not constitute a default or result in the breach of any term or provision of any contract or agreement to which Medved is a party so as to adversely affect the consummation of such transactions.

6.2 Authority. The execution, delivery and performance of this Agreement by Medved has been authorized and approved by Medved, and the person executing this Agreement on behalf of Medved has full authority to bind Medved to the terms hereof.

6.3 No Actions. There is no action, suit, legal proceeding, investigation, condemnation or other proceeding pending or threatened against Medved which may adversely affect the consummation of the transactions contemplated by this Agreement or affecting any portion of the Medved Property, in any court, before any arbitrator of any kind or before or by any governmental body.

6.4 Liens. All work which has been performed in, on or about the Medved Property or materials furnished thereto by Medved or the its contractors which might, in any circumstances, give rise to a mechanic's or materialman's lien has been paid for or all necessary waivers of right to a mechanic's or materialman's lien have been obtained.

6.5 Wells. Medved certifies that Medved does not know of any "Wells" on the described Medved Property within the meaning of Minn. Stat. Chapter 103I, except as disclosed herein. This representation is intended to satisfy the requirements of that statute.

6.6 Title to Medved Property. Medved owns the Medved Property, free and clear of all encumbrances.

6.7 Environmental Laws. The City acknowledges that Medved has made no

representation or warranty concerning the condition of the Medved Property, with respect to toxic or hazardous substances or wastes, pollutants or contaminants (as defined in applicable federal or state laws or local ordinances) or any activity undertaken on the Medved Property that would cause or contribute to (i) the Medved Property to become a treatment, storage or disposal facility as defined in any federal or state law or local ordinance, (ii) a release or threatened release of toxic or hazardous substances or wastes, pollutants or contaminants, from the Medved Property as prohibited by any federal or state law or local ordinance, or (iii) the discharge of pollutants or effluents into any water source or system, the dredging or filling of any waters or the discharge into the air of any emissions, that would require a permit under any federal or state law or local ordinance.

6.8 Storage Tanks. To the best of Medved's knowledge, such knowledge being solely based on the actions of Medved since it has become owner of the Medved Property, there are no above ground tanks in or about the Medved Property. To the extent such storage tanks exist, each will be duly registered with all appropriate regulatory and governmental bodies and will be removed or brought into compliance with applicable federal, state and local statutes, regulations, ordinances and other regulatory requirements at Medved's expense. To the best of Medved's knowledge there are no underground storage tanks on the Medved Property.

6.9 New Contracts. Medved shall not, without the prior written consent of City, enter into or consent to any lease, easement, covenant, purchase agreement, option, or other obligation affecting the condition of the Medved Property or that cannot be terminated on or prior to Closing as it relates to the Medved Property.

Medved will indemnify the City, the City's successors and assigns, against, and will hold the City, the City's successors and assigns, harmless from, any expenses or damages, including reasonable attorneys' fees, that the City incurs because of the breach of any of the above representations and warranties, whether such breach is discovered before or after Closing. Consummation of this Agreement by the City with knowledge of any such breach by Medved will not constitute a waiver or release by the City of any claims due to such breach. The covenants, representation, and warranties contained in this Section shall survive the Closing for one (1) year.

7. Contingencies.

7.1 City's Contingencies. The obligations of the City under this Agreement are expressly contingent upon each of the following (the "City's Contingencies"):

7.1.1 The City shall have determined on or before the Closing Date, that it is satisfied, in its sole discretion, with the results of any environmental/soil investigations and tests of the Medved Property conducted by the City, the costs of which shall be the responsibility of the City. By executing this Agreement, Medved hereby authorizes the City, its contractors, and agents to enter upon the Medved Property for purposes of conducting environmental, engineering and soil tests.

7.1.2 The City shall have determined on or before the Closing Date, that it is satisfied, in its sole discretion, with the title to the Medved Property.

7.1.3 All of the covenants, representations, and warranties made by Medved shall be true and correct as of the Closing Date.

If the City's Contingencies have not been satisfied on or before the Closing Date, then the City may, at the City's option, terminate this Agreement by giving notice to Medved on or before the Closing Date. The contingencies set forth in this section are for the sole and exclusive benefit of the City, and the City shall have the right to waive the contingencies by giving notice to Medved.

7.2 Medved's Contingencies. The obligations of Medved under this Agreement are expressly contingent upon each of the following (the "Medved's Contingencies"):

7.2.1 Medved shall have determined on or before the Closing Date, that it is satisfied, in its sole discretion, with the results of any environmental/soil investigations and tests of the City Land conducted by Medved, the costs of which shall be the responsibility of Medved. By executing this Agreement, the City hereby authorizes Medved, its contractors, and agents to enter upon the City Land for purposes of conducting environmental, engineering and soil tests.

7.2.2 Medved shall have determined on or before the Closing Date, that it is satisfied, in its sole discretion, with the title to the City Land.

7.2.3 All of the covenants, representations, and warranties made by the City shall be true and correct as of the Closing Date.

7.2.4 Medved shall have determined on or before the Closing Date that Medved is satisfied, in its sole discretion, that Medved will be able to lawfully use and develop the City Land for use by Riverplace as a drug and alcohol rehabilitation and treatment center and as State of Minnesota Department of Health licensed "Lodging Establishments" (MS 157.17) and for future use of the "Fellowship Place" plat for City of Anoka Zoning designated commercial and residential purposes.

7.2.5 The City shall have completed the Site Preparation Work (as that term is defined in attached **Exhibit C**) on the City Land for a contract amount of no more than \$99,000.

If Medved's Contingencies have not been satisfied on or before the Closing Date, then Medved may, at Medved's option, terminate this Agreement by giving notice to the City on or before the Closing Date. The contingencies set forth in this section are for the sole and exclusive benefit of Medved, and Medved shall have the right to waive the contingencies by giving notice to the City.

8. Condemnation. If before the Closing Date all or a portion of either the City Land

or the Medved Property is the subject of an action in eminent domain or a proposed taking by a governmental authority, whether temporary or permanent, the party whose Land is not the subject of the action (“Purchasing Party”), at its sole election, has the right to (i) terminate this Agreement at any time by giving written notice of such termination to the other party (“Selling Party”), or (ii) proceed to Closing, in which event the Selling Party will assign to the Purchasing Party at Closing all right, title and interest in and to any and all awards made or to be made in respect of the condemnation. If the Purchasing Party elects not to terminate, the Purchasing Party shall have the right before Closing to contest such condemnation proceeding, in which event the Selling Party shall cooperate with reasonable requests made by the Purchasing Party to contest the same.

9. Casualty. If before the Closing Date all or a portion of the improvements on the Medved Property are damaged by fire, other casualty, the elements or any other cause, Medved shall be entitled to retain any insurance proceeds attributable to personal property owned by Medved or Riverplace. The City shall be entitled to any proceeds attributable to the real property and improvements. The City acknowledges that the City intends to acquire the Medved Property for redevelopment and agrees that Medved shall not be required to restore any damaged improvements and the consideration paid by the City for the Medved Property shall not be adjusted on account of any such damage.

10. Methamphetamine Disclosure. To the best of City’s knowledge, methamphetamine production has not occurred on the City Land. To the best of Medved’s knowledge, methamphetamine production has not occurred on the Medved Property.

11. No Partnership or Joint Venture. Nothing in this Agreement shall be interpreted as creating a partnership or joint venture among the parties.

12. No Broker Commissions. Each party represents and warrants to the other parties that there is no broker involved in this transaction with whom the warranting party has negotiated or to whom the warranting party has agreed to pay a broker commission. Each party agrees to indemnify the other parties for any and all claims for brokerage commissions or finders’ fees in connection with negotiations for the purchase and sale of the Properties arising out of any alleged agreement or commitment or negotiation by the indemnifying party.

13. No Merger. The provisions of this Agreement shall not be merged into any instruments or conveyance delivered at Closing, and the parties shall be bound accordingly.

14. Entire Agreement; Amendments. This Agreement constitutes the entire agreement among the parties and no other agreement prior to this Agreement or contemporaneous herewith shall be effective except as expressly set forth or incorporated herein. Any purported amendment shall not be effective unless it shall be set forth in writing and executed by the parties or their respective successors or assigns.

15. Binding Effect; Assignment. This Agreement shall be binding upon and inure to the benefit of the parties and their respective heirs, executors, administrators, successors and assigns.

16. Notice. Any notice, demand, request or other communication which may or shall be given or served by the parties shall be deemed to have been given or served on the date the same is deposited in the United States Mail, registered or certified, postage prepaid; delivered by a nationally recognized overnight delivery company, or actually received by the recipient and addressed as follows:

- A. If to City: City Administrator
Anoka City Hall
2015 First Avenue North
Anoka, MN 55303-2270
- With a copy to: Scott C. Baumgartner
Hawkins & Baumgartner, P.A.
2140 4th Avenue North
Anoka, MN 55303
- B. If to Medved: Dennis and Beverly Medved
701 Belville Blvd.
Golden Gate, FL 34104
- With a copy to: Eric H Galatz
Stinson Leonard Street PLLP
150 South Fifth Street Suite 2300
Minneapolis, MN 55402

17. Headings. The headings of the sections and subsections of this Agreement are for convenience of reference only and does not form a part hereof, and in no way interpret or construe such sections and subsections.

18. Governing Law. This Agreement shall be governed by the laws of the State of Minnesota.

19. Counterpart signatures. The parties agree that this Agreement may be executed in two or more counterparts, all of which when taken together shall comprise one and the same instrument. Each party agrees that the other party may rely upon facsimile copies of the signatures of such party.

IN WITNESS WHEREOF, the parties have executed this agreement as of the date written above.

[Signature Page for City]

CITY OF ANOKA

By _____
Its Mayor

By _____
Its City _____

[Signature Page for Medved]

MEDVED

Dennis Medved

Beverly Medved

EXHIBIT A

Legal Description of the City Land

EXHIBIT B

Legal Description of the Medved Property

Anoka County, Minnesota

EXHIBIT “C”

Site Preparation Work

COUNCIL MEMO FORM

9.4

Meeting Date	May 2, 2016
Agenda Section	Ordinances/Resolutions
Item Description	RES/Fellowship Place Utility Extensions; Accept Bids and Award Construction Contract
Submitted By	Ben Nelson, Engineering Technician

BACKGROUND INFORMATION

On February 2, 2015 the City Council adopted a resolution to enter into a Joint Powers Agreement with the City of Ramsey for the construction and maintenance of the utilities to serve 6050 & 6058 Highway 10. On August 3, 2015 the City Council adopted a resolution amending this Joint Powers Agreement with the City of Ramsey for the construction and maintenance of the utilities to serve 6050 & 6058 Highway 10.

The amended JPA was to service the site by extending the utilities as part of the City of Ramsey's Ridgepoint development off Rivlyn Avenue. On September 3rd Ramsey's contractor starting grading the site and discovered a large volume of undocumented fill containing various construction debris material. At that time work was stopped and Village Bank (owner) determined it was not feasible to totally remove the debris from the site and went on to explore options for financial assistance for the required site cleanup work to allow the development to move forward. Over the past months staff communicated and met with Village Bank to discuss this utility connection to 6058 Highway 10 which was believed to be the most cost effective option for the City of Anoka. Village Bank's first offer to the City of Anoka was to clean up their site in return for allowing the extension of the utilities and the easement. Village Bank recently contacted the City to re-negotiate the utility extension across their site. The offer that was agreed to was the exchange of soils from Anoka to help clean up Village Bank's site for the extension of the utilities and the easement. However, staff's opinion is this utility extension option will be infeasible at this point based on the developer's construction schedule and the application process Village Bank would have to complete with the City of Ramsey.

DISCUSSION

The overall objective of this project is to provide sewer and water services to the 6058 Highway 10. The bidding structure for this project was set up to have two (2) bid options to allow the City to choose the final route after the bid opening. A description of the bid options are described below:

Bid Option #1 – Gravity sewer provided by the City of Ramsey and water service provided by the City of Anoka:

This option includes connecting into Ramsey's sanitary sewer system located along the east side of Highway 10 that extends north easterly and connects into the Met Council trunk interceptor just north of the BNSF railroad as illustrated on the attachment. The water service would include connecting into Anoka's water supply system located along the east side of Highway 10 that extends south along MNdot's right of way.

On April 21, 2016 Ramsey staff held an informational Open House for the Rivlyn Avenue residents. During the Open House, Anoka staff presented information on the Riverplace Counseling Center and concerning comments were provided by Ramsey Residents about the project. On April 26, 2016 Ramsey's City Council approved staff to provide an advisory response to the City of Anoka regarding the proposed relocation of Riverplace Counseling Center.

Prior to Ramsey's City Council meeting, Anoka withdrawal the request for Ramsey to adoption of the Resolution for approving the Joint Powers Agreement with the City of Anoka for the sewer connection. Listed below where the reasons for drawing this request:

- Ramsey has no record of an easement over their sanitary sewer system and, at the request of Ramsey staff, Anoka would not work with the property owner(s) to obtain the required easements until the Joint Powers Agreement for this sewer connection was approved.
- With Bid Option 2, the sewer connection will be into Anoka's sanitary sewer system.
- Met Council will require the City of Ramsey to amend their current Comprehensive Plan to allow for this sewer connection.

For these reasons, staff is recommending not choosing Bid Option #1 to service the 6058 Highway 10.

Bid Option #2 – Forcemain sanitary sewer and water service provided by the City of Anoka:

This option includes connecting a forcemain into Anoka’s sanitary sewer located on the east side of Highway 10 in the parking lot of the Anoka Technical College. The water service would be the same connection as option 1, located along the east side of Highway 10 as illustrated on the attachment. Bid Option #2 will require the City of Anoka to purchase a 20’ wide drainage and utility easement for the forcemain from the Anoka Technical College at a cost of \$11,202. This bid option includes the City purchasing the lift station for approximately \$35,000 and the contractor installing the lift station.

Staff is recommending choosing Bid Option #2 to service the 6058 Highway 10.

Bids for this project were received at 11:00 A.M. on Tuesday, April 26, 2016 at City Hall. The City received a total of four (4) bids on the project. The complete bid tabulation is attached for your reference and summarized below:

<u>Contractor</u>	<u>Bid Option #1</u>	<u>Bid Option #2</u>
Douglas-Kerr Underground, LLC	\$218,298.55	\$242,752.50
Pember Companies, Inc.	\$239,379.40	\$278,391.27
Penn Contracting, Inc	\$250,628.00	\$278,515.00
Northdale Construction Company, Inc.	\$269,140.58	\$373,229.92
<i>Engineer’s Estimate</i>	<i>\$220,097.00</i>	<i>\$274,951.50</i>

The low bid options for this project were approximately 10% lower than the engineers estimate. Douglas-Kerr Underground, LLC has previously completed several projects in the City of Anoka, and they have completed numerous municipal reconstruction projects throughout Minnesota. Mr. Jochum’s letter recommending the award of the construction contract is attached.

ACQUISITION OF EASEMENT

With any public improvement project, it is frequently necessary to acquire utility easements to allow for the relocation of city utilities. As per City Charter, City Council approval is required to acquire real property, or in the case of easements, an interest in real property. Staff recommends that the City Council authorizes staff to pursue and acquire all utility easements necessary for the successful implementation of this project.

As part of either Bid Option, drainage and utility easements will be required.

PROJECT COSTS & FINANCING

Based upon the bid options provided by Douglas Kerr Underground, LLC, the total construction costs are broken down as follows for the two bid options:

	<u>Bid Option #1</u>	<u>Bid Option #2</u>
Bid Option Cost	\$222,197.35	\$242,752.50
Lift Station Cost	N/A	\$35,000.00
Easement Cost	<u>\$8,400.00</u>	<u>\$11,202.00</u>
Total	\$230,597.35	\$288,954.50
15% overhead & contingency	\$34,600.00	\$43,300.00
TOTAL PROJECT COST	\$265,197.35	\$332,254.50

The low bid for Bid Option #2 will result in a total project cost of \$332,254.50. The finance department is recommending the funding source for this project will be from the Urban Redevelopment Fund. Staff recommends awarding a construction contract for Bid Option #2 to Douglas-Kerr Underground, LLC with a bid of \$242,752.50.

PROJECT SCHEDULE

Should this construction contract be awarded, the following are the milestone dates in the project schedule:

Begin Construction	May 9, 2016
Anoka Technical College last day of class	May 13, 2016
Begin work at Anoka Technical College	May 23, 2016
Substantially Completion	August 12, 2016
Final Completion	August 20, 2016
Anoka Technical College first day of class	August 22, 2016
Riverplace Counseling Center Project Completion	December 2016

COUNCIL ACTION REQUESTED

It is recommended that the City Council adopt the attached resolution Awarding a Construction Contract to Douglas-Kerr Underground, LLC in the amount of \$242,752.50 for the Fellowship Place Utility Extension Project for Bid Option #2.



2015 First Avenue, Anoka, MN 55303
Phone: (763) 576-2700 Website: www.ci.anoka.mn.us

**CITY OF ANOKA, MINNESOTA
RESOLUTION**

RES-2016-XX

**RESOLUTION FELLOWSHIP PLACE UTILITY EXTENSION PROJECT; ACCEPT BIDS
AND AWARD CONSTRUCTION CONTRACT**

WHEREAS, as per state statute, with an estimated contract amount in excess of \$100,000, publication was made at least three weeks before the last day to submit bids; and

WHEREAS, pursuant to an advertisement for bids for the Fellowship Place Utility Extension Project bids were received, opened and tabulated according to law, and the following bids were received complying with the advertisement:

<u>Contractor</u>	<u>Bid Option #1</u>	<u>Bid Option #2</u>
Douglas-Kerr Underground, LLC	\$218,298.55	\$242,752.50
Pember Companies, Inc.	\$239,379.40	\$278,391.27
Penn Contracting, Inc	\$250,628.00	\$278,515.00
Northdale Construction Company, Inc.	\$269,140.58	\$373,229.92

AND WHEREAS, based on the bids submitted, it appears that Douglas-Kerr Underground, LLC. is the lowest responsible bidder,

NOW, THEREFORE, BE IT RESOLVED by the City Council of the City of Anoka, Anoka County, Minnesota as follows:

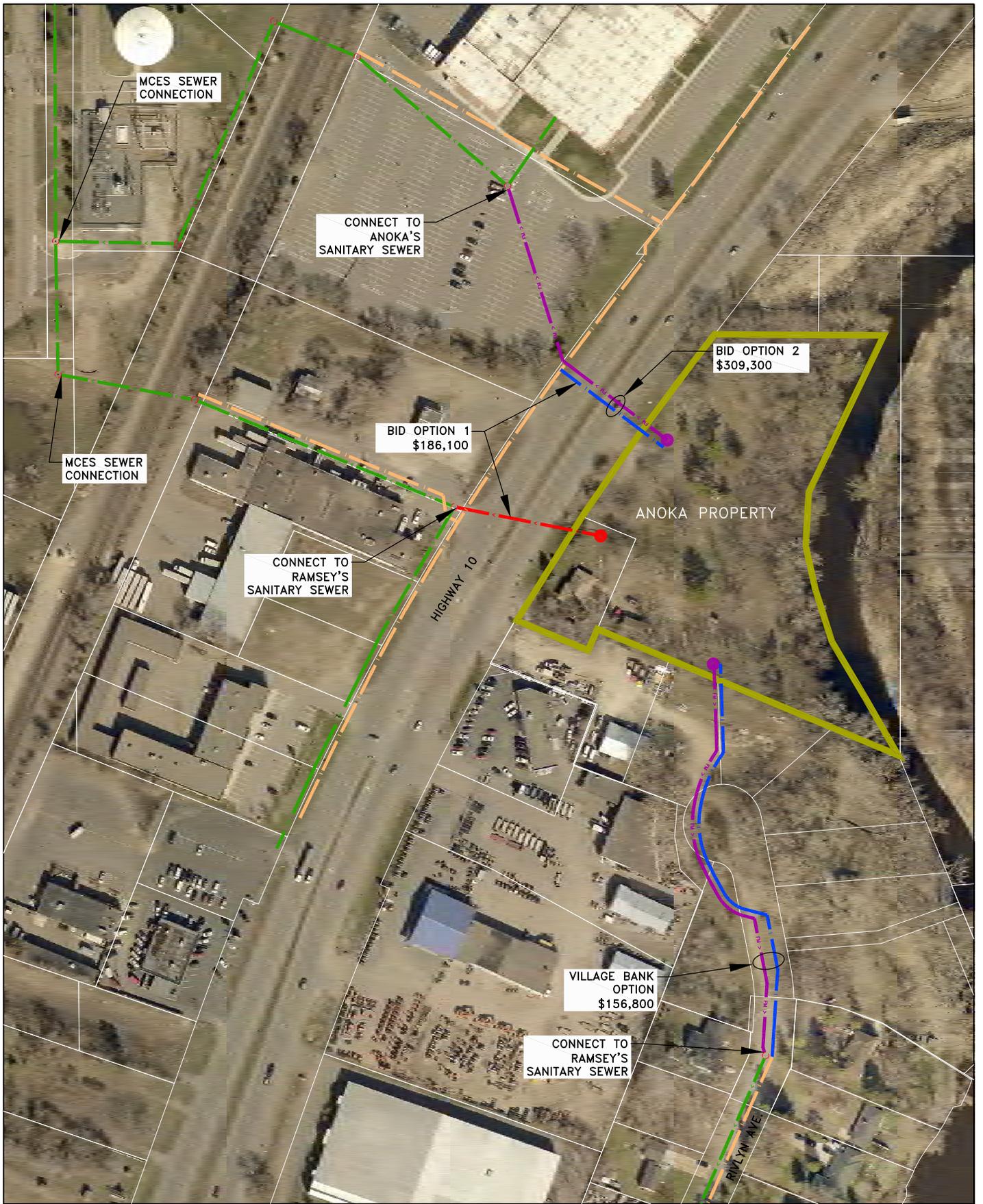
1. The Mayor and City Clerk are hereby authorized and directed to enter into a contract with Douglas-Kerr Underground, LLC in the amount of \$242,752.50 for the Fellowship Place Utility Extension Project project that includes the Bid Option #2 according to the plans and specifications therefore approved by the City Council and on file in the office of the City Engineer.
2. The City Clerk or designee is hereby authorized and directed to return forthwith to all bidders the deposits made with their bids, except that the deposits of the successful bidder and the next lowest bidder shall be retained until a contract has been signed.
3. The City Council authorizes staff to pursue and acquire all utility easements necessary for the successful implementation of this project.

Adopted by the Anoka City Council this the 2nd day of May, 2016.

ATTEST:

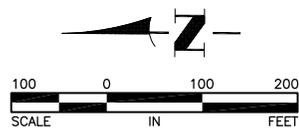
Amy T. Oehlers, City Clerk

Phil Rice, Mayor



LEGEND

-  EXISTING SANITARY SEWER
-  EXISTING WATERMAIN
-  PROPOSED SANITARY SEWER
-  PROPOSED FORCEMAIN
-  PROPOSED WATERMAIN



Bids opened 11:00 a.m., Tuesday, April 26, 2016.
There were 4 bids received, as shown herein.

Bid No. 1				Douglas Kerr Underground, LLC		Pember Companies, Inc.		Penn Contracting, inc.		Northdale Constrution Company, Inc.	
ITEM NO.	ITEM DESCRIPTION	ESTIMATED QUANTITY		UNIT PRICE	EXTENSION	UNIT PRICE	EXTENSION	UNIT PRICE	EXTENSION	UNIT PRICE	EXTENSION
1	MOBILIZATION	1	LUMP SUM	\$17,560.00	\$17,560.00	\$23,000.00	\$23,000.00	\$12,000.00	\$12,000.00	\$19,840.00	\$19,840.00
2	CLEARING	1	TREE	\$150.00	\$150.00	\$200.00	\$200.00	\$450.00	\$450.00	\$420.00	\$420.00
3	GRUBBING	1	TREE	\$150.00	\$150.00	\$60.00	\$60.00	\$200.00	\$200.00	\$420.00	\$420.00
4	REMOVE METAL CULVERT	50	LIN FT	\$17.80	\$890.00	\$15.00	\$750.00	\$20.00	\$1,000.00	\$20.00	\$1,000.00
5	REMOVE BITUMINOUS PAVEMENT	348	SQ YD	\$5.00	\$1,740.00	\$4.50	\$1,566.00	\$5.00	\$1,740.00	\$7.20	\$2,505.60
6	SAWING BITUMINOUS PAVEMENT - FULL DEPTH	152	LIN FT	\$5.00	\$760.00	\$3.50	\$532.00	\$4.00	\$608.00	\$6.00	\$912.00
7	AGGREGATE BASE CLASS 5	131	TON	\$30.00	\$3,930.00	\$33.00	\$4,323.00	\$32.00	\$4,192.00	\$13.87	\$1,816.97
8	MILL BITUMINOUS SURFACE (1.5")	17	SQ YD	\$30.85	\$524.45	\$32.70	\$555.90	\$22.00	\$374.00	\$24.00	\$408.00
9	TYPE SP 9.5 WEARING COURSE MIXTURE (2,B)	35	TON	\$149.25	\$5,223.75	\$158.00	\$5,530.00	\$200.00	\$7,000.00	\$216.00	\$7,560.00
10	TYPE SP 12.5 NON WEARING COURSE MIXTURE (2,B)	55	TON	\$141.75	\$7,796.25	\$150.00	\$8,250.00	\$200.00	\$11,000.00	\$216.00	\$11,880.00
11	8" PVC PIPE SEWER SDR 35	228	LIN FT	\$72.20	\$16,461.60	\$61.00	\$13,908.00	\$68.00	\$15,504.00	\$192.67	\$43,928.76
12	CONNECT TO EXISTING MANHOLES (SAN)	1	EACH	\$7,920.00	\$7,920.00	\$1,850.00	\$1,850.00	\$7,000.00	\$7,000.00	\$2,320.00	\$2,320.00
13	24" STEEL CASING PIPE (JACKED)	312	LIN FT	\$333.05	\$103,911.60	\$400.00	\$124,800.00	\$425.00	\$132,600.00	\$306.00	\$95,472.00
14	CONNECT TO EXISTING WATERMAIN	1	EACH	\$7,120.00	\$7,120.00	\$3,500.00	\$3,500.00	\$7,914.00	\$7,914.00	\$5,897.50	\$5,897.50
15	6" GATE VALVE AND BOX	1	EACH	\$2,067.80	\$2,067.80	\$1,465.00	\$1,465.00	\$2,177.00	\$2,177.00	\$2,181.89	\$2,181.89
16	8" GATE VALVE AND BOX	2	EACH	\$3,164.45	\$6,328.90	\$1,800.00	\$3,600.00	\$1,804.00	\$3,608.00	\$2,615.23	\$5,230.46
17	HYDRANT	1	EACH	\$5,485.20	\$5,485.20	\$4,100.00	\$4,100.00	\$4,757.00	\$4,757.00	\$4,540.35	\$4,540.35
18	6" WATERMAIN DUCTILE IRON CL 52	14	LIN FT	\$67.50	\$945.00	\$64.00	\$896.00	\$54.00	\$756.00	\$85.45	\$1,196.30
19	8" WATERMAIN DUCTILE IRON CL 52	192	LIN FT	\$69.45	\$13,334.40	\$73.00	\$14,016.00	\$59.00	\$11,328.00	\$232.31	\$44,603.52
20	DUCTILE IRON FITTINGS	270	POUND	\$4.80	\$1,296.00	\$7.75	\$2,092.50	\$3.00	\$810.00	\$7.32	\$1,976.40
21	CONSTRUCT SANITARY STRUCTURE DESIGN 48-4007	1	EACH	\$4,527.90	\$4,527.90	\$2,715.00	\$2,715.00	\$5,860.00	\$5,860.00	\$2,419.00	\$2,419.00
22	CASTING ASSEMBLY	1	EACH	\$1,495.70	\$1,495.70	\$750.00	\$750.00	\$380.00	\$380.00	\$760.63	\$760.63
23	TRAFFIC CONTROL	1	LUMP SUM	\$5,000.00	\$5,000.00	\$16,750.00	\$16,750.00	\$16,000.00	\$16,000.00	\$6,000.00	\$6,000.00
24	FERTILIZER TYPE 3	140	POUND	\$3.00	\$420.00	\$1.50	\$210.00	\$2.00	\$280.00	\$9.60	\$1,344.00
25	COMMON TOPSOIL BORROW	52	CU YD	\$30.00	\$1,560.00	\$40.00	\$2,080.00	\$40.00	\$2,080.00	\$33.60	\$1,747.20
26	SEED MIXTURE 25-121	30	POUND	\$10.00	\$300.00	\$16.00	\$480.00	\$2.00	\$60.00	\$24.00	\$720.00
27	MULCH MATERIAL TYPE 1	0.2	TON	\$1,000.00	\$200.00	\$1,000.00	\$200.00	\$550.00	\$110.00	\$3,000.00	\$600.00
28	EROSION CONTROL BLANKETS CATEGORY 3	240	SQ YD	\$5.00	\$1,200.00	\$5.00	\$1,200.00	\$3.50	\$840.00	\$6.00	\$1,440.00
Total Bid No. 1					\$218,298.55		\$239,379.40		\$250,628.00		\$269,140.58

Bid No. 2				Douglas Kerr Underground, LLC		Pember Companies, Inc.		Penn Contracting, inc.		Northdale Constrution Company, Inc.	
ITEM NO.	ITEM DESCRIPTION	ESTIMATED QUANTITY		UNIT PRICE	EXTENSION	UNIT PRICE	EXTENSION	UNIT PRICE	EXTENSION	UNIT PRICE	EXTENSION
1	MOBILIZATION	1	LUMP SUM	\$17,690.00	\$17,690.00	\$19,300.00	\$19,300.00	\$13,000.00	\$13,000.00	\$14,140.00	\$14,140.00
2	CLEARING	6	TREE	\$150.00	\$900.00	\$275.00	\$1,650.00	\$360.00	\$2,160.00	\$300.00	\$1,800.00
3	GRUBBING	6	TREE	\$150.00	\$900.00	\$40.00	\$240.00	\$85.00	\$510.00	\$300.00	\$1,800.00
4	REMOVE METAL CULVERT	50	LIN FT	\$17.80	\$890.00	\$15.00	\$750.00	\$20.00	\$1,000.00	\$20.00	\$1,000.00
5	REMOVE BITUMINOUS PAVEMENT	316	SQ YD	\$5.00	\$1,580.00	\$4.50	\$1,422.00	\$5.00	\$1,580.00	\$6.50	\$2,054.00
6	SAWING BITUMINOUS PAVEMENT - FULL DEPTH	263	LIN FT	\$5.00	\$1,315.00	\$3.49	\$917.87	\$4.00	\$1,052.00	\$5.00	\$1,315.00

7	AGGREGATE BASE CLASS 5	125	TON	\$30.00	\$3,750.00	\$33.00	\$4,125.00	\$32.00	\$4,000.00	\$13.87	\$1,733.75
8	MILL BITUMINOUS SURFACE (1.5")	30	SQ YD	\$30.80	\$924.00	\$32.65	\$979.50	\$33.00	\$990.00	\$24.00	\$720.00
9	TYPE SP 9.5 WEARING COURSE MIXTURE (2,B)	33	TON	\$149.20	\$4,923.60	\$158.20	\$5,220.60	\$169.00	\$5,577.00	\$216.00	\$7,128.00
10	TYPE SP 12.5 NON WEARING COURSE MIXTURE (2,B)	50	TON	\$141.75	\$7,087.50	\$150.35	\$7,517.50	\$162.00	\$8,100.00	\$216.00	\$10,800.00
11	CONNECT TO EXISTING MANHOLES (SAN)	1	EACH	\$7,920.00	\$7,920.00	\$1,650.00	\$1,650.00	\$7,000.00	\$7,000.00	\$6,320.00	\$6,320.00
12	12" STEEL CASING PIPE (JACKED)	160	LIN FT	\$292.75	\$46,840.00	\$350.00	\$56,000.00	\$340.00	\$54,400.00	\$359.00	\$57,440.00
13	24" STEEL CASING PIPE (JACKED)	140	LIN FT	\$292.75	\$40,985.00	\$445.00	\$62,300.00	\$425.00	\$59,500.00	\$359.00	\$50,260.00
14	4" PVC FORCEMAIN (DR 18)	194	LIN FT	\$51.05	\$9,903.70	\$47.50	\$9,215.00	\$27.00	\$5,238.00	\$212.84	\$41,290.96
15	4" PVC FORCEMAIN (DR 18) - DIRECTIONALLY DRILLED	312	LIN FT	\$77.60	\$24,211.20	\$50.00	\$15,600.00	\$36.00	\$11,232.00	\$178.22	\$55,604.64
16	CONNECT TO EXISTING WATERMAIN	1	EACH	\$7,120.00	\$7,120.00	\$3,600.00	\$3,600.00	\$8,914.00	\$8,914.00	\$5,897.50	\$5,897.50
17	6" GATE VALVE AND BOX	1	EACH	\$2,067.80	\$2,067.80	\$1,465.00	\$1,465.00	\$3,177.00	\$3,177.00	\$2,181.89	\$2,181.89
18	8" GATE VALVE AND BOX	2	EACH	\$3,164.45	\$6,328.90	\$1,800.00	\$3,600.00	\$2,804.00	\$5,608.00	\$2,615.23	\$5,230.46
19	HYDRANT	1	EACH	\$5,485.20	\$5,485.20	\$4,100.00	\$4,100.00	\$4,757.00	\$4,757.00	\$4,540.35	\$4,540.35
20	6" WATERMAIN DUCTILE IRON CL 52	14	LIN FT	\$67.50	\$945.00	\$63.50	\$889.00	\$54.00	\$756.00	\$85.45	\$1,196.30
21	8" WATERMAIN DUCTILE IRON CL 52	192	LIN FT	\$69.45	\$13,334.40	\$72.40	\$13,900.80	\$59.00	\$11,328.00	\$232.31	\$44,603.52
22	DUCTILE IRON FITTINGS	333	POUND	\$5.65	\$1,881.45	\$8.75	\$2,913.75	\$3.00	\$999.00	\$8.12	\$2,703.96
23	LIFT STATION, VALVE MANHOLE AND CONTROL PANEL	1	LUMP SUM	\$19,300.00	\$19,300.00	\$34,000.00	\$34,000.00	\$40,869.00	\$40,869.00	\$30,947.49	\$30,947.49
24	1.5" PVC CONDUIT (SCHEDULE 40)	295	LIN FT	\$8.15	\$2,404.25	\$10.00	\$2,950.00	\$8.60	\$2,537.00	\$10.50	\$3,097.50
25	2" PVC CONDUIT (SCHEDULE 40)	295	LIN FT	\$8.30	\$2,448.50	\$10.15	\$2,994.25	\$9.00	\$2,655.00	\$10.50	\$3,097.50
26	4" PVC CONDUIT (SCHEDULE 40)	295	LIN FT	\$9.60	\$2,832.00	\$13.00	\$3,835.00	\$18.00	\$5,310.00	\$12.50	\$3,687.50
27	TRAFFIC CONTROL	1	LUMP SUM	\$5,000.00	\$5,000.00	\$13,000.00	\$13,000.00	\$12,000.00	\$12,000.00	\$6,000.00	\$6,000.00
28	FERTILIZER TYPE 3	130	POUND	\$3.00	\$390.00	\$1.50	\$195.00	\$2.00	\$260.00	\$9.60	\$1,248.00
29	COMMON TOPSOIL BORROW	48	CU YD	\$30.00	\$1,440.00	\$40.00	\$1,920.00	\$40.00	\$1,920.00	\$9.60	\$460.80
30	SEED MIXTURE 25-121	28	POUND	\$10.00	\$280.00	\$16.00	\$448.00	\$2.00	\$56.00	\$33.60	\$940.80
31	MULCH MATERIAL TYPE 1	0.2	TON	\$1,000.00	\$200.00	\$1,000.00	\$200.00	\$500.00	\$100.00	\$2,400.00	\$480.00
32	EROSION CONTROL BLANKETS CATEGORY 3	225	SQ YD	\$5.00	\$1,125.00	\$5.00	\$1,125.00	\$3.00	\$675.00	\$6.00	\$1,350.00
33	PAVEMENT MESSAGE (HANDICAPPED SYMBOL) PAINT	1	EACH	\$50.00	\$50.00	\$53.00	\$53.00	\$55.00	\$55.00	\$900.00	\$900.00
34	4" SOLID LINE WHITE - PAINT	300	LIN FT	\$1.00	\$300.00	\$1.05	\$315.00	\$4.00	\$1,200.00	\$4.20	\$1,260.00
Total Bid No. 2					<u>\$242,752.50</u>		<u>\$278,391.27</u>		<u>\$278,515.00</u>		<u>\$373,229.92</u>

SUMMARY OF BIDDING:

	<i>Douglas Kerr Underground, LLC</i>	<i>Pember Companies, Inc.</i>	<i>Penn Contracting, inc.</i>	<i>Northdale Constrution Company, Inc.</i>
Total Bid No. 1	<u>\$218,298.55</u>	<u>\$239,379.40</u>	<u>\$250,628.00</u>	<u>\$269,140.58</u>
Total Bid No. 2	<u>\$242,752.50</u>	<u>\$278,391.27</u>	<u>\$278,515.00</u>	<u>\$373,229.92</u>

April 26, 2016

Greg Lee
City Manager
City of Anoka
2015 – 1st Avenue N.
Anoka, MN 55303

RE: Fellowship Place Utility Extension Project
Contract Award Recommendation

Dear Mr. Lee:

Construction bids for the Fellowship Place Utility Extension Project were opened at 11:00 a.m. on April 26, 2016 at the Anoka City Hall. A total of four bids were received and opened.

The project includes constructing sewer and water utilities under Highway 10 to the future Riverplace Counseling Center site. Bid No. 1 includes constructing a gravity sewer main that drains to the City of Ramsey's sanitary sewer system. Bid No. 2 includes the construction of a lift station and sanitary sewer forcemain that drains to the City of Anoka's sanitary sewer system. Both bids also include constructing a watermain to the City of Anoka's water system.

The engineer's estimate for Bid No. 1 was \$220,097 and for Bid No. 2 was \$274,952. The following is a summary of the bids:

Bid No. 1:

Douglas Kerr Underground, LLC	\$ 218,298.55
Pember Companies, Inc.	\$ 239,379.40
Penn Contracting, Inc.	\$ 250,628.00
Northdale Construction Company	\$ 269,140.58

Bid No. 2:

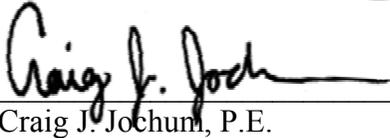
Douglas Kerr Underground, LLC	\$ 242,752.50
Pember Companies, Inc.	\$ 278,391.27
Penn Contracting, Inc.	\$ 278,515.00
Northdale Construction Company	\$ 373,229.92

Greg Lee
April 26, 2016
Page 2

Douglas Kerr Underground, LLC has worked with the City of Anoka in the past and has successfully completed several of the City's annual street renewal projects. Douglas Kerr Underground, LLC was the low bid for both Bid No. 1 and Bid No. 2. We recommend that the Fellowship Place Utility Extension Project be awarded to Douglas Kerr Underground, LLC. The award amount will depend on the utility option that is approved by the City Council.

If you have any questions please call me at 763-852-0485.

Sincerely,
Hakanson Anderson



Craig J. Jochum, P.E.

cc: Ben Nelson, City of Anoka

COUNCIL MEMO FORM

9.5

Meeting Date	May 2, 2016
Agenda Section	Ordinances and Resolutions
Item Description	RES/Purchase of an Easement at Anoka Technical College for Drainage and Utility Purposes
Submitted By	Ben Nelson, Engineering Technician

BACKGROUND INFORMATION:

As part of the Riverplace Counseling Center project, the City will be providing sewer and water services to the parcel at 6058 Highway 10. As a result of the sewer service, a drainage and utility easement is required over the forcemain across Anoka Technical College's parking lot to Anoka's sanitary sewer manhole. Public Services have been in negotiation with the college to purchase this easement for drainage and utility purposes (see attached easement exhibit). This will be for a 20' wide easement centered over the forcemain.

The total amount of drainage and utility easement the City is proposing to purchase is 6,223 square feet as illustrated on Exhibit "A". The City of Anoka determined the estimated fair market value by obtaining the 2017 proposed land value from Anoka County's tax information. The market value per square foot is \$3.60. Based on this being an easement and the fee ownership remains to be the college, the fair land value staff has determined is \$1.80 per square foot (50% of the market value). The owner determined the City's estimated fair market value was reasonable, for a total purchase price of \$11,202.

FINANCIAL IMPACT:

The purchase price of the easement is \$11,202 and will be funded from the Urban Redevelopment Fund.

COUNCIL REQUESTED ACTION:

Adopt the resolution approving purchase of an easement at the Anoka Technical College for drainage and utility purposes.



2015 First Avenue, Anoka, MN 55303
Phone: (763) 576-2700 Website: www.ci.anoka.mn.us

**CITY OF ANOKA, MINNESOTA
RESOLUTION**

RES-2016-XX

**A RESOLUTION APPROVING PURCHASE OF AN EASEMENT AT
ANOKA TECHNICAL COLLEGE FOR DRAINAGE AND UTILITY PURPOSES**

WHEREAS, the State of Minnesota is the owner of real property in the City of Anoka at 1355 Highway 10;

WHEREAS, the City of Anoka is interested in purchasing an easement for drainage and utility purposes legally described as follows:

A 20.00 foot wide permanent easement for drainage and utility purposes over under and across that part of Lot 1 A, Block 1, ANOKA HENNEPIN TECHNICAL COLLEGE ADDITION, Anoka County, Minnesota, lying northerly of the southwesterly 10.00 feet as measured perpendicular the southwesterly line of said Lot 1 A.

WHEREAS, the centerline of said drainage and utility easement described as follows:

Commencing at the most Northerly corner of said Lot 1 A; thence South 23 degrees 20 minutes 13 seconds West assumed bearing along the Northwesterly line of said Lot 1 A a distance of 462.63 feet to the most Westerly corner of said Lot 1 A; thence southeasterly a distance of 75.27 feet along the southwesterly line of said Lot 1 A, said southwesterly line being a non-tangential curve concave to the southwest said curve having a radius of 3922.19 feet and central angle of 01 degrees 05 minutes 58 seconds and a chord which bears South 53 degrees 59 minutes 31 seconds East to the point of beginning of the centerline to be described; thence North 64 degrees 57 minutes 24 seconds East not tangent to last described curve a distance of 322.50 feet and said centerline there terminating.

WHEREAS, it is the determination of the City Council that the purchase of the interest in real property, the easement by the City of Anoka for drainage and utility purposes is necessary and advisable and in the best interest of the City of Anoka; and

NOW, THEREFORE LET IT BE RESOLVED THAT the Anoka City Council approves the purchase of the above-described easement; and that the Mayor and City Clerk or his or her designee are authorized and directed to execute all documents necessary to complete the purchase.

Adopted by the Anoka City Council this 2nd day of May, 2016.

ATTEST:

Amy T. Oehlers, City Clerk

Phil Rice, Mayor

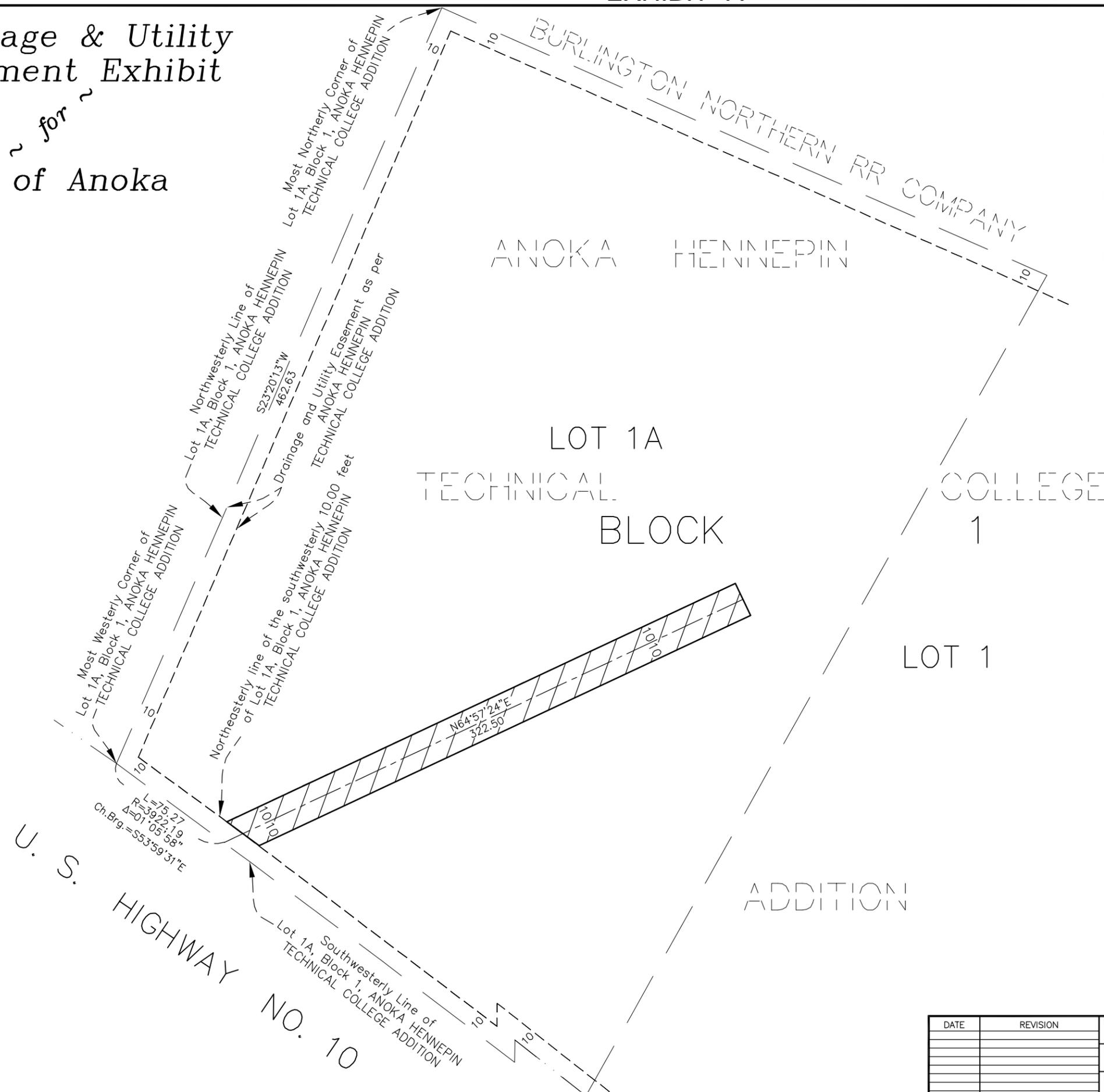
EXHIBIT "A"

Drainage & Utility Easement Exhibit

for City of Anoka

A 20.00 foot wide permanent easement for drainage and utility purposes over under and across that part of Lot 1A, Block 1, ANOKA HENNEPIN TECHNICAL COLLEGE ADDITION, Anoka County, Minnesota, lying northerly of the southwesterly 10.00 feet as measured perpendicular the southwesterly line of said Lot 1A. The centerline of said easement described as follows:

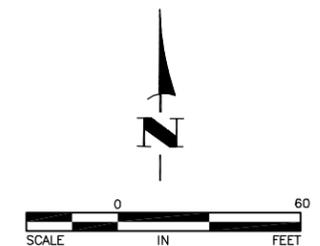
Commencing at the most Northerly corner of said Lot 1A; thence South 23 degrees 20 minutes 13 seconds West assumed bearing along the Northwesterly line of said Lot 1A a distance of 462.63 feet to the most Westerly corner of said Lot 1A; thence southeasterly a distance of 75.27 feet along the southwesterly line of said Lot 1A, said southwesterly line being a non-tangential curve concave to the southwest said curve having a radius of 3922.19 feet and central angle of 01 degrees 05 minutes 58 seconds and a chord which bears South 53 degrees 59 minutes 31 seconds East to the point of beginning of the centerline to be described; thence North 64 degrees 57 minutes 24 seconds East not tangent to last described curve a distance of 322.50 feet and said centerline there terminating.



Area of easement contains 6,223 sq. ft. = 0.14 acres



Proposed Drainage and Utility Easement



DATE	REVISION	DESIGNED BY:
		BRP
		DRAWN BY:
		BRP
		CHECKED BY:
		SMM



Easement Exhibit
for
City of Anoka

DATE 04/06/16 FILE NO. 108 of 1170

SHEET
1
OF
1
SHEETS

COUNCIL MEMO FORM

9.6

Meeting Date	May 2, 2016
Agenda Section	Ordinance and Resolutions
Item Description	ORD/Amending Chpt 46; Offenses & Miscellaneous Provisions, Article III Offenses Involving Public Safety (1 st Reading)
Submitted By	Carolyn Braun, Planning Director

BACKGROUND INFORMATION

In response to U.S. District Court Judge Donovan Frank's ruling that Minnesota's program for confining predatory offenders is equivalent to permanent confinement without a clear path to release and ruling the program to be unconstitutional, many communities are enacting local ordinances to restrict where Level III predatory offenders can live after they are released. One news article indicated as many as 39 communities have enacted such ordinances (although no list was included in that article)¹. In research to date, the following communities are either studying adoption of a residency restrictions ordinance, have enacted a moratorium on to study the issue, or have adopted a residency restriction ordinance: Monticello, Otsego, Albertville, Wyoming, Birchwood Village, Duluth (a limited ordinance), Cloquet, Brooklyn Center, Fergus Falls, White Bear Township, Taylors Falls, LeCenter, Columbia Heights, Willmar, Elysian, Cleveland, Mahtomedi, Minnesota Lake, and Mankato.

This legislative session, a bill has been proposed that would allow cities and counties to enact tougher laws to keep Level III sex offenders away from schools, parks another other places frequented by children. The legislation is intended to give municipalities stronger legal standing to defend locally adopted residency restrictions ordinance. Currently there is a debate over whether municipalities truly have this authority, absent specific legislation authorizing them to create such ordinances. This debate, however, has not stopped municipalities from adopting residency restriction ordinances.

Advocates of residency restrictions believe that these regulations diminish the likelihood that sex offenders will come in contact with children whom they might victimize. In researching this ordinance, however, there is no information that shows that residency restrictions actually reduce re-offenses. Some worry that restricting residency will create a shortage of housing options for Level III offenders and others indicate that it will be harder to monitor the Level III offenders if they are driven to rural areas because they are restricted from living in more populated areas. People in rural areas, however, also worry that the Level III offenders will all be placed in their communities and have adopted ordinances to prevent that from occurring.

PROPOSED ORDINANCE AMENDMENT

Based on review of numerous similar ordinances, the proposed ordinance titled "Predatory Offender Residency Restriction Ordinance" includes the following sections (in summary form). The exact language is shown in the accompanying draft ordinance.

The draft ordinance has been reviewed by the City Attorney and the Police Chief.

Section 46-62.

- (a) Findings and Purpose. This section states the purpose for adopting this ordinance and makes findings in support of adoption. This language is very similar to the language found in many of the ordinances that were reviewed.
- (b) Definitions. This section includes definitions that are specific to this ordinance.

(c) Prohibitions; Measurements of Distance; Penalties; Exceptions. This section includes a number of provisions:

1. Prohibited location of residence. Any designated predatory offender (a Level III offender) is prohibited from establishing a permanent or temporary residence within 2,000 feet of any school, day care, licensed child care facility, place of assembly, facility for children, or a park.

The intent of this section is to eliminate temporary or permanent housing for Level III predatory offenders in areas where children will be present.

The ordinances reviewed limited residency for distances of 500 feet to 2500 feet. Most of the ordinances reviewed use 2000 feet as the distance for prohibiting such residences. A map of the area regulated by the 2000' distance is attached.

2. Prohibition present in safety zone. This section makes it unlawful for a Level III predatory offender to be present within 100 feet of any facility for children or a day care facility.
3. Prohibited activity. This section makes it unlawful for a Level III predatory offender to participate in a holiday event involving children, such as distributing candy or other items or wearing holiday costumes.

While this activity may seem unlikely, included in this packet is a news article where this activity occurred.

4. Measurement of distance. This section sets forth the method for measuring the distance from a residence to any of the facilities for children.
5. Violations. This section establishes the violation of this ordinance as a misdemeanor with each day the violation continues considered a separate violation.
6. Exceptions. This section includes situations that would not be considered a violation of the residency restrictions.

(d) Official Map of Prohibited Locations. This section states that the City shall maintain an official map showing the prohibited locations of residences for predatory offenders.

(e) Restrictions Relating to Rental Property; Penalties. This section states that it is unlawful to rent to a predatory offender in any area where residency is restricted. If the property owner is found guilty of renting to a predatory offender in a restricted area, they would be guilty of a petty misdemeanor with each day the violation continues considered a separate violation. If a property owner discovers that the tenant is a predatory offender after the lease is signed, the property owner or property manager may evict the offender without further liability to the offender. A violation of this section by the property owner may be cause to suspend or revoke the property owner's rental license.

(f) Severability. This section includes standard language that, if any provision of this ordinance is found to be invalid, the remaining sections are considered to be valid.

FINANCIAL IMPACT

Cost of publication.

COUNCIL ACTION REQUESTED

Hold the first reading of the ordinance and adopt the ordinance.

ⁱ *Cities are rushing to restrict sex offenders: Efforts to limit housing spill over to State Capitol.* April 4, 2016. Star Tribune Local section. Online version.



2015 First Avenue, Anoka, MN 55303
Phone: (763) 576-2700 Website: www.ci.anoka.mn.us

CITY OF ANOKA, MINNESOTA

ORDINANCE

ORD-2016-XXX

AN ORDINANCE AMENDING CHAPTER 46 ARTICLE III OFFENSES INVOLVING PUBLIC SAFETY OF THE CODE OF THE CITY OF ANOKA

THE COUNCIL OF THE CITY OF ANOKA ORDAINS:

Section 1. Pursuant to Minnesota Law, the Anoka City Charter and the Anoka City Code, and upon a review of a study conducted by City staff, amendments of Chapter 46, Article III; Offenses Involving Public Safety, are hereby amended into the City Code of the City of Anoka, by an affirmative vote of a majority of the Anoka City Councilmembers present, to read as Exhibit A, hereto attached.

Section 2: This Ordinance shall be in full force and effective upon passage and seven (7) days after publication.

ATTEST:

Phil Rice, Mayor

Introduced: _____
Adopted: _____
Published: _____
Effective: _____

Amy T. Oehlers, City Clerk

	Aye	Nay	Abstain	Absent
Rice	_____	_____	_____	_____
Anderson	_____	_____	_____	_____
Freeburg	_____	_____	_____	_____
Schmidt	_____	_____	_____	_____
Weaver	_____	_____	_____	_____

Chapter 46

ARTICLE III. Offenses Involving Public Safety.**Section 46-62. Title.**

This section shall be known and referenced as the Predatory Offender Residency Restriction Ordinance.

(a) Findings and Purpose.

Repeat predatory offenders present an extreme threat to the public safety of a community as a whole, and especially to children. Predatory offenders are likely to use physical violence and to repeat their offenses. Most predatory offenders commit many offenses, have many more victims than are ever reported, and are prosecuted for only a fraction of their crimes. This makes the cost of predatory offender victimization to society at large, while incalculable, unmistakably steep.

It is the intent of this Article to serve the City's compelling interest to promote, protect and improve the health, safety, and welfare of citizens of the City of Anoka by creating areas around locations where children regularly congregate in concentrated numbers, and where certain predatory offenders are prohibited from establishing temporary or permanent residence.

(b) Definitions. For the purpose of this Article, the following definitions will apply unless the context or intent clearly requires a different meaning:

Day Care. Any facility, public or private, licensed by the State of Minnesota or Anoka County, in which care, training, supervision, habilitation or developmental guidance for children is provided on a regular basis and for periods less than 24 hours per day.

Child or children. Any person or persons under 18 years of age, or individuals under age 21 who are in foster care.

Facilities for Children. All public parks, parkways, park facilities, parkland, public or private schools, designated public school bus stops, libraries, group homes, foster homes, day care and child care facilities, public recreation centers, non-profit or commercial recreation centers, public or private playgrounds, public or commercial swimming pools,

public beaches, youth centers, athletic fields used by children, crisis centers or shelters, care facilities for children's skate park or rink, movie theaters, bowling alleys, facilities for children's clubs, e.g. scouting, public recreational areas and trails including conservation areas, jogging trails, hiking trails, walking trails, bicycle trails, Offices for Child Protective Services, places of assembly, and specialized schools for children, including but not limited to, tutoring, gymnastics, dance and music schools.

Designated Predatory Offender. Any person who has been categorized as a Level III predatory offender under Minnesota Statutes 244.052, a successor statute, or a similar statute from another state in which that person's risk assessment indicates a high risk of re-offense.

Licensed Child Care Facility. Any facility, center, home or institution licensed by the State of Minnesota pursuant to Minn. Stat. 245A, where children are cared for pursuant to the requirements of a license issued by the Minnesota Department of Human Services.

Permanent Residence. A place where a person abides, lodges, or resides for 14 or more consecutive days. An ownership interest by the person in such residence is not required.

Place of Assembly. A place of assembly, synagogue, temple, mosque, or other facility that is used for prayer by persons of similar beliefs or a special purpose building that is designated or particularly adapted for the primary use of conducting, on a regular basis, religious services and associated accessory uses by a religious congregation.

School. Any public or non-public educational institution providing instructional services to children, which shall include any structure, land, or facility owned, leased or used for operation of the school or school activities.

Temporary Residence. A place where a person abides, lodges, or resides for a period of 14 or more days in the aggregate during any calendar year, and which is not the person's permanent residence, or a place where the person routinely abides, lodges, or resides for a period of four or more consecutive or nonconsecutive days in any month and which is not the person's permanent residence.

(c) Prohibitions; Measurement of Distance; Penalties; Exceptions.

- (1) *Prohibited location of residence.* It is unlawful for any designated predatory offender to establish a permanent residence or temporary residence within 2,000 feet of any school, day care, licensed child care facility, place of assembly, facility for children, or park.
- (2) *Prohibition present in safety zone.* It is unlawful for any designated predatory offender to be present within 100 feet of any facility for children or day care facility.
- (3) *Prohibited activity.* It is unlawful for any designated predatory offender to participate in a holiday event involving children such as distributing candy or other items to children on Halloween, wearing a Santa Claus costume on or proceeding Christmas or wearing an Easter Bunny costume on or preceding Easter. Holiday events in which the offender is the parent or guardian of the children involved, and no non-familial children are present, are exempt from this paragraph.
- (4) *Measurement of distance.* For purposes of determining the minimum distance separation, the requirement shall be measured by following a straight line from the property line of the permanent residence or temporary residence to the nearest outer property line of the school, day care, licensed child care facility, place of assembly, facility for children, or park.
- (5) *Violations.* A designated predatory offender who violates this Article shall be deemed guilty of a misdemeanor. Each day a designated predatory offender maintains a residence in violation of this Article constitutes a separate violation.
- (6) *Exceptions.* A designated predatory offender residing within a prohibited location, as herein described, does not commit a violation of this Article if any of the following apply:
 - A. The designated predatory offender established the permanent or temporary residence and reported and registered the residence pursuant to Minnesota Statutes Sections 243.166 and 243.167, or a

successor statute, prior to _____, 2016 (*date of adoption of this ordinance*).

- B. The designated predatory offender was a minor when he/she committed the offense and was not convicted as an adult.
- C. The designated predatory offender is a minor.
- D. The school, day care, licensed child care facility, place of assembly, facility for children or park within 2,000 feet of the designated predatory offender's residence was opened after the designated predatory offender established their permanent or temporary residence, and reported and registered the residence pursuant to Minnesota Statutes, Sections 243.166 and 243.167, or a successor statute.
- E. The residence is also the primary residence of the designated predatory offender's parents, grandparents, siblings or spouse.
- F. The residence is a property purchased, leased, or contracted with and licensed by the Minnesota Department of Corrections prior to _____ (*date of adoption of this ordinance*).
- G. The designated predatory offender is in residence at the Anoka County Jail or AMRTC (Anoka Metro Regional Treatment Center).

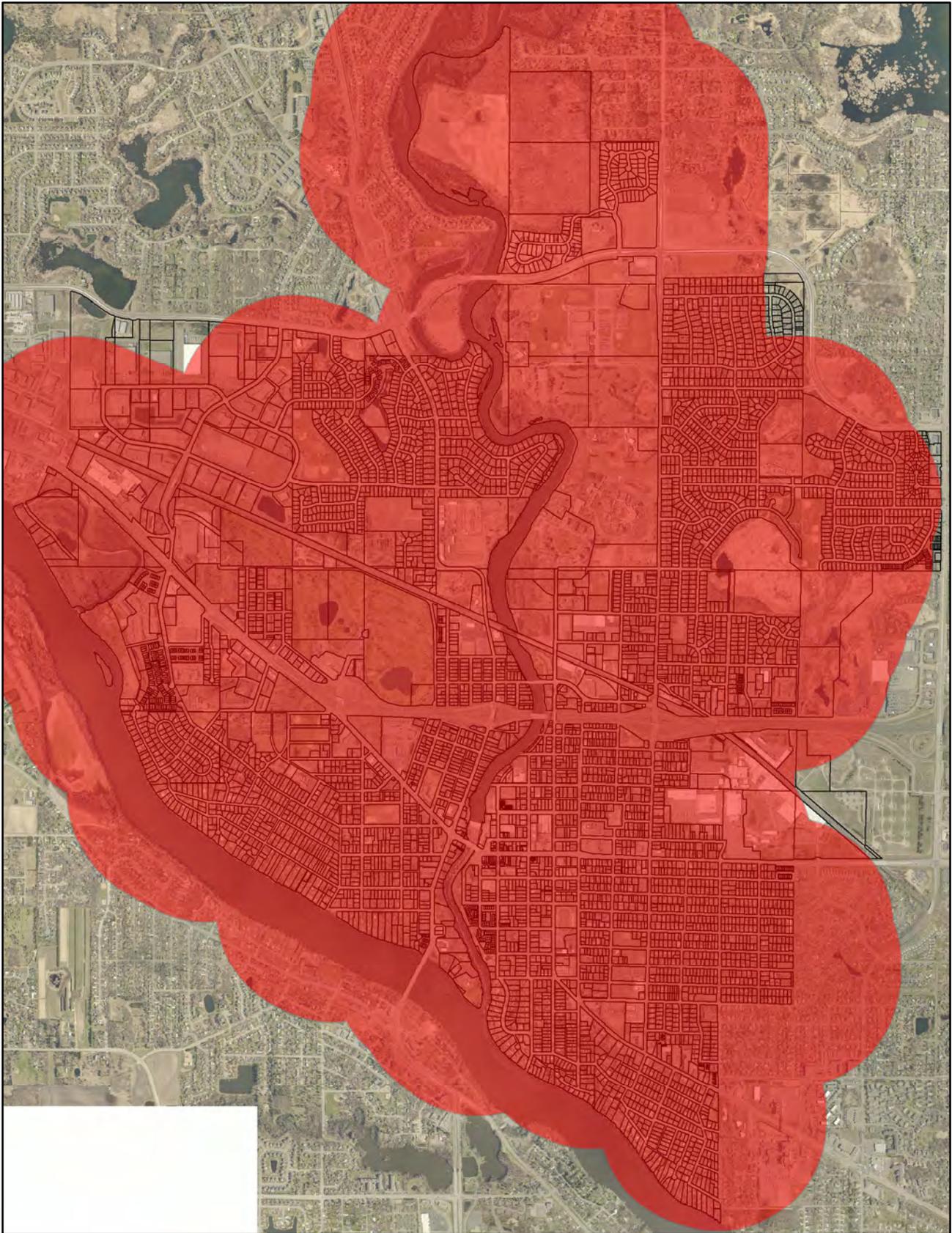
(d) **Official map of prohibited locations.** The City Manager shall maintain an official map showing prohibited locations of residences as defined by this Article. The City Manager shall review annually, and if appropriate, update the map to reflect any changes in the prohibited locations. The map shall not be deemed conclusive or all-encompassing since some prohibited locations change from time to time including, but not limited to, other places where children are known to congregate.

(e) **Restrictions Relating to Rental Property; Penalties.**

- (1) It is unlawful for a property owner to let or rent any place, structure, or part thereof, trailer or other conveyance, with the knowledge that it will be used as a permanent or temporary residence by any person prohibited from establishing such permanent or temporary residence pursuant to this Article if such place, structure, or part thereof, trailer or other conveyance, is located within a prohibited location as set forth in part (d) above.
 - (2) A property owner violating Part (e) above shall be guilty of a petty misdemeanor. Each day a property owner violates Part (e) above constitutes a separate violation.
 - (3) If a property owner discovers or is informed that a tenant is a designated predatory offender after signing a lease or otherwise agreeing to let the designated predatory offender reside on the property, the owner or property manager may evict the offender without further liability to the offender.
 - (4) Violation of Part (e) may be cause to suspend or revoke the property owner's rental license.
- (f) **Severability.** Should any section, subdivision, clause, or other provision of this section be held invalid by any court of competent jurisdiction, such decision shall not affect the validity of this Article as a whole, or of any part thereof, other than the part held to be invalid.

Sections 46-63 – 46-90. **Reserved.**

Areas within 2,000 Feet of: Parks, Schools, Churches, & Child Care Centers



North Dakota mall arrested



A registered sex offender who was playing an Easter Bunny at a Minot mall has been arrested. Daniel Sanderson, 24, of Minot was detained by police after a tip came in that he was being employed by a temporary employment service to serve as the bunny at Dakota Square Mall. (Forum News Service)

By **FORUM NEWS SERVICE** |

March 25, 2016 | UPDATED: 1 month ago

MINOT, N.D. — A registered sex offender who was playing an Easter Bunny at a Minot mall has been arrested.

Daniel Sanderson, 24, of Minot was detained by police after a tip came in that he was being employed by a temporary employment service to serve as the bunny at Dakota Square Mall.

Police said neither the employment agency nor the mall knew he was a sex offender.

Sanderson was taken into custody Wednesday by police on a probation violation warrant and faces an additional felony charge for failing to update his employment status with the Minot Police Department.

Another warrant is pending for Sanderson failing to update his place of residence with the police.

COUNCIL MEMO FORM

11.1

Meeting Date	May 2, 2016
Agenda Section	New Business
Item Description	Consideration of Issuance of a Special Events License; MN Brewery Running Series; 5K-10K Fun Run”
Submitted By	Amy Oehlers, City Clerk

BACKGROUND INFORMATION

Nathan Herrington of Apple Adventure Racing, on behalf of MN Brewery Running Series, has submitted an application for a Special Events License to hold a 5K-10K Fun Run in Anoka on June 4, 2016.

Appropriate staff departments met with Mr. Harrington. Staff has no concerns or objections to the issuance of this license. There will be no City staff assistance for this event that would be billed back to the sponsor.

The event is planned to be annual event.

Please see attachment for Event details.

100% of proceeds, after expenses, will be donated to ACBC Food Shelf.

Anoka City Code, Section 14-258, requires that staff notify ABLA of the proposed special event, prior to Council consideration. On April 14, 2016, staff sent notice to ABLA with event details. On April 14, 2016 ABLA responded that they had no concerns with the Special Events request since it did not include an impact to any streets.

On April 26, 2016, the Sponsor requested that their application be amended so that they could have a food truck parked in the event area, during the event (original application did not include food sales). However, this week there were multiple changes to the event application. ABLA was provided with the amendments to the application. As of the writing of this memo, a response from ABLA had not been received.

On April 26, 2016, the Sponsor requested that the City allow them a full closure of the City Hall Plaza area, with barricades at 2nd Ave/Jackson and at 1st Ave/Main. This closure was not part of the original application; however, it was discussed at the meeting between staff and the sponsor. Staff does not have any concerns with a full closure of the City Hall Plaza Area, and there is no cost to the sponsor for the City to provide the 2 barricades. Sponsor will be responsible for placement of the barricades at the event start time and removal of the barricades at the end of the event time. There will be no City staff providing assistance to this event.

On April 27, 2016, the Sponsor requested that their application be amended to extend the event times as follows:

Original request: 11:00 a.m. until 12:00 p.m. Amended Request: 10:00 a.m. until 1:00 p.m.

Mr. Herrington will be at the meeting to answer any questions the Council may have.

FINANCIAL IMPACT

The cost of the Special Events license is: \$75 for first annual event, plus \$25 investigation fee. Future events are not charged a fee as long as there are no substantial changes to the event, as determined by City staff.

COUNCIL ACTION REQUESTED

Request that the Council acts on the issuance of this license, and if approved, require that the event sponsor provide a detailed summary of the event costs, funds generated, and proceeds payout, within thirty (30) days after the event.



2015 First Avenue, Anoka, MN 55303
 Phone: (763) 576-2700 Website: www.ci.anoka.mn.us

NEW SPECIAL EVENT REVIEW

EVENT NAME	MN Brewery Running Series 5K & 10K Fun Run
EVENT SPONSOR	Apple Adventure Racing, LLC Db; MN Brewery Running Series
TYPE OF ENTITY OF SPONSOR	Private. Limited Liability Corporation
DATE OF EVENT	Saturday, June 4, 2016
TIME OF EVENT	10:00 a.m. until 1:00 p.m.
FREQUENCY OF EVENT	Annual
PURPOSE OF EVENT	Community Fun & Exercise
USE OF PROCEEDS (after expenses of event)	100% to Anoka County Food Shelf
LOCATION OF EVENT	City Hall Plaza
STREET/PARKING LOT/SIDEWALK USAGE	Closure of City Hall Plaza area. Barricades at Jackson/2 nd Ave and 1 st Ave/Main St. Event will begin & end at City Hall Plaza
EXPECTED ATTENDANCE	50 - 125
DETAILS OF EVENT	Participants will gather at City Hall Plaza. Run will begin on Rum River Trail behind City Hall and utilize existing City, County, Regional and/or State Trail systems. There will not be alcohol at this event. There will be one food truck, parked in the City Hall Plaza area during the time of the event. Copy of Anoka County Food License or Anoka County Reciprocity Form must be submitted to City Hall prior to issuance of license.

Per Anoka City Code, Chpt 14, Article VII, Section 14-258, all event details for a New Special Event must be provided to Anoka Business & Landowners Association, prior to the application being submitted to the Anoka City Council.



MN Brewery Running Series 5K-10K Fun Run June 4, 2016



Aerial Photo: Flown Spring of 2014



COUNCIL MEMO FORM

11.2

Meeting Date	May 2, 2016
Agenda Section	New Business
Item Description	Consideration of Issuance of a Special Events License; Anoka Masonic Lodge "Get Out The Grill Out"
Submitted By	Amy Oehlers, City Clerk

BACKGROUND INFORMATION

Anoka Masonic Lodge has submitted an application for a Special Events License to hold a "Get Out the Grill Out" Event on Saturday, May 21, 2016. This event will be similar to their annual Ribs, Bibs & Blues Fest.

Appropriate staff departments met with Tony Heimer of Anoka Masonic Lodge. Staff has no concerns or objections to the issuance of this license. There will be no City staff assistance for this event that would be billed back to the sponsor.

The event is planned to be annual event.

Please see attached event details. (they are requesting the closure of the City owned parking lot next to the Masonic Lodge – which they use for Ribs, Bibs & Blues Fest).

Please see attachment for Event details.

100% of proceeds, after expenses, will go back to Anoka Masonic Lodge for Charitable Contributions and operational expenses.

Anoka City Code, Section 14-258, requires that staff notify ABLA of the proposed special event, prior to Council consideration. AS of the writing of this memo, no concerns or objections have been expressed by ABLA.

Mr. Heimer will be at the meeting to answer any questions the Council may have.

FINANCIAL IMPACT

The cost of the Special Events license is: \$75 for first annual event, plus \$25 investigation fee. Future events are not charged a fee as long as there are no substantial changes to the event, as determined by City staff.

COUNCIL ACTION REQUESTED

Request that the Council acts on the issuance of this license, and if approved, require that the event sponsor provide a detailed summary of the event costs, funds generated, and proceeds payout, within thirty (30) days after the event.



2015 First Avenue, Anoka, MN 55303
Phone: (763) 576-2700 Website: www.ci.anoka.mn.us

NEW SPECIAL EVENT REVIEW

EVENT NAME	Get Out The Grill Out
EVENT SPONSOR	Anoka Masonic Lodge #30
TYPE OF ENTITY OF SPONSOR	Non-Profit
DATE OF EVENT	Saturday, May 21, 2016
TIME OF EVENT	Noon until 4:00 p.m.
FREQUENCY OF EVENT	Annual
PURPOSE OF EVENT	Community BBQ
USE OF PROCEEDS (after expenses of event)	100% to Anoka Masonic Lodge
LOCATION OF EVENT	City owned parking lot next to Anoka Masonic Lodge, 1900 3 rd Ave
STREET/PARKING LOT/SIDEWALK USAGE	City owned parking lot (as shown on attached map)
EXPECTED ATTENDANCE	100 – 150
DETAILS OF EVENT	Community BBQ

Per Anoka City Code, Chpt 14, Article VII, Section 14-258, all event details for a New Special Event must be provided to Anoka Business & Landowners Association, prior to the application being submitted to the Anoka City Council.

COUNCIL MEMO FORM

11.3

Meeting Date	May 2, 2016
Agenda Section	New Business
Item Description	Adoption of Waterfowl Management Policy
Submitted By	Lisa LaCasse, Public Services Administrator

BACKGROUND INFORMATION

The MN Department of Natural Resources has changed their permitting process and policies regarding goose management practices that involve trapping geese, egg addling, and/or other management practices typically performed at area golf courses or parks. The DNR is requiring all public entities establish a goose management policy in order to be eligible to request permits to remove/trap geese. Rather than be specific to only geese, staff felt that the policy should be inclusive of waterfowl in general to help address issues we may encounter with ducks/geese in the parks as well.

The attached policy was reviewed and approved by the Anoka Parks and Recreation Board on April 19, 2016. Green Haven staff plans to hire a contractor this spring to trap/removal geese and/or addle eggs. This is not an annual activity. Mike Bruals, Golf Superintendent, does utilize his labrador retriever, Hogan, on a daily basis to temporarily displace geese from the course, but it is my understanding that the flock size has grown requiring more permanent removal approach being implemented for 2016.

FINANCIAL IMPACT

Costs only incurred when outside contractors are hired for removals.

COUNCIL ACTION REQUESTED

Adoption of Waterfowl Management Policy



Waterfowl Management Policy

Background

Although most people find a few ducks or geese acceptable, waterfowl populations can quickly get out of hand and rapidly increase in residential, golf and park areas because 1) habitat is abundant, 2) waterfowl have a high reproductive potential and a long life span, and 3) mortality from hunting and other predation is low.

Waterfowl live in particular areas that meet their needs for food, reproduction and security. Geese are grazers that feed primarily on short grasses such as those found in parks, lawns and golf courses. They need feeding sites with open vistas and access to lakes and marshes to escape danger. Golf courses, parks and large lawns next to ponds, rivers, marshes and lakes often provide all of these ingredients. Docks, yards and beaches provide secure "loafing" sites for preening and sunning.

Waterfowl are extremely prolific. Ducks can reproduce at 1 year of age and geese at 2 or 3 years of age. A pair of adult geese raises an average of about 4 young per year. At normal reproduction and mortality of 10 years, a pond or lake with 3 pairs of adult geese can multiply to nearly 50 birds within 5 years and to over 300 in just 10 years.

Objectives

The objectives of the waterfowl management plan are:

1. To maintain waterfowl flocks at levels that will not reduce the use of park property and/or park picnic areas adjacent to rivers or ponds.
2. To prevent waterfowl from damaging the turf on the golf course.

Management Options

1. Feeding Bans. The City of Anoka does not allow feeding of waterfowl in the parks. Well-fed domestic "park ducks" and geese serve as decoys, encouraging wild birds to congregate in unnaturally high concentrations. Wild waterfowl are capable of finding their own food and will survive without handouts from people.
2. Harassment. The use of harassment techniques to discourage waterfowl from using golf courses, picnic areas and athletic fields for feeding, nesting, or flocking. Harassment includes the use of dogs, vehicles, streamers, and noise-makers. Harassment helps move waterfowl to areas outside of the golf course or park property. Nesting waterfowl cannot be harassed without a federal permit.
3. Hunting. The MN Department of Natural Resources prescribes hunting as the most effective means to control waterfowl populations. City of Anoka currently allows waterfowl hunting in the designated Waterfowl Hunting Zone on the Mississippi River at Kings Island during the waterfowl hunting season. In addition, the City has issued special permits for waterfowl hunting in the Anoka Nature Preserve as part of the Waterfowl for Warriors hunting project for Veterans sponsored by local law enforcement. Special hunts on the golf course using an experienced organization may be a viable option.
4. Landscaping. Waterfowl avoid using areas where plants obstruct their view of the surrounding area. An unmowed shoreline buffer of native grasses and wild flowers that grow 20-30 inches tall in a strip 20-30 feet wide, a hedge 30" tall, or dense strip of trees and shrubs along the shoreline can discourage goose visits. Native grasses generally remain standing

even after winter snows have compacted most other grasses. Use of a S-shaped footpath (3-4 feet wide) to provide access from the yard to the shoreline keeps sight lines blocked.

5. Nest Management.

- a. Destruction. Were feasible, Canada Goose nests are to be destroyed by egg addling. This technique is used at the golf course under special permit from the MN Department of Natural Resources.
- b. Trapping and Removal. Capture and removal of flightless, mixed age groups of geese from the golf course during the peak use time. The use of contractors or trained staff to capture, remove and dispose of geese from the golf course is an option. Such removal requires a permit from the MN Department of Natural Resources.
- c. Goose Harvest. Selective and occasional lethal removal of individual geese from the golf course is an effective complement to pyrotechnic shells and other redistribution or hazing methods. Lethal removal of geese by means of shooting geese on an occasional basis is a management option. Such removal would need to be detailed as part of a removal permit application through the DNR Fish & Wildlife Division, and goose removal and disposition would need to be conducted according to the specific permit conditions. Such conditions would include the number of individuals and the specific information about the methods to be used in their harvest and disposition.

Public Information

The waterfowl management policy will be available to the public on the City of Anoka website and upon request. When feasible and practical, advance notice will be provided to citizens for activities that might be considered alarming if prior notice and explanation is not provided.

COUNCIL MEMO FORM

12.1

Meeting Date	May 2, 2016
Agenda Section	Updates & Reports
Item Description	1 st Quarter Financial Report
Submitted By	Lori Yager, Finance Director

BACKGROUND INFORMATION:

The Finance Department provides the City Council and City Manager with quarterly reports according to the Anoka City Charter.

FINANCIAL IMPACT:

No financial impact, see attached reports.

COUNCIL ACTION REQUESTED:

View power point presentation.

Memorandum

Date: 5/2/16
To: Greg Lee
Cc: Mayor and Councilmembers
From: Lori Yager
RE: March 2016 Financial Report

Attached are financial reports for the period ending March 31, 2016 along with some comparative information. After **brief** analysis, some general comments can be made in regards to the quarterly reports for the City.

GENERAL FUND REVENUES

- There is very little overall change in the general fund operating revenues as of March.

GENERAL FUND EXPENDITURES

- General fund operating expenditures are up about \$162,000 or 8% over last year at this time. Salary and benefit expenses increased slightly with new positions and open positions. Transfers out to other funds are up substantially by \$1,042,000 compared to last year at this time.

GOVERNMENTAL FUND TYPE RESERVES

- Governmental fund type reserves include the general, special revenue, debt, capital, TIF, Internal Service and HRA. The reserves are up about \$1 million or 6% over last year at this time. This is a result of transfers in from electric for capital and infrastructure projects throughout the city.

ENTERPRISE FUNDS

- Electric, sewer, golf, refuse and recycling, are all experiencing operating losses in the 1st quarter. Golf and recycling typically experience **operating** losses in the first quarter, (excluding depreciation and debt). Electric typically is profitable by the end of the summer.

GENERAL COMMENTS

- Total cash and investments are up about \$500,000 over March 31, 2016. The city continues to invest in infrastructure throughout the city.

ILLUSTRATIONS

- The general fund graphs illustrate where revenues and expenditures are derived and spent. It compares those figures for years 2013 thru 2016 with period end dates of March 31st.
- Included also are a spreadsheet and graphs depicting current and historical operations for the enterprise funds.

CITY OF ANOKA

2016 FINANCIAL REPORT - MARCH

GENERAL FUND

Year To Date 3 Months 25% of Year

	<u>2016 Budget</u>	<u>Year to Date</u>	Percentage Received/ Expended <u>2016</u>
<u>Revenues</u>			
Property Taxes	\$ 6,303,575	\$ 1,560,135	24.75%
Franchise Fees	966,000	230,090	23.82%
Licenses and Permits	444,350	134,197	30.20%
Intergovernmental Revenue	2,146,355	521,189	24.28%
Charges for Services	1,067,550	115,386	10.81%
Fines and Forfeitures	86,750	17,171	19.79%
Interest Earnings	45,000	24,717	54.93%
Other Miscellaneous	159,275	50,779	31.88%
Transfers In	394,000	98,500	25.00%
Total	\$ 11,612,855	\$ 2,752,164	23.70%
<u>Expenditures</u>			
Mayor/Council	\$ 96,665	\$ 18,320	18.95%
Administrative Services	453,655	65,495	14.44%
Finance	461,710	91,295	19.77%
Legal	201,500	41,406	20.55%
Planning & Inspections	518,025	101,352	19.57%
Community Development	105,475	32,010	30.35%
Municipal Building	485,875	58,909	12.12%
Police	4,552,855	1,031,574	22.66%
Fire	592,000	147,983	25.00%
Public Works	1,637,485	322,468	19.69%
Recreation	1,106,490	206,787	18.69%
Parks	826,510	136,180	16.48%
Unallocated	2,167,650	1,071,698	49.44%
Total	\$ 13,205,895	\$ 3,325,477	25.18%
Sources (Uses) of Fund			
Balance	(\$1,593,040)	(\$573,313)	35.99%

CITY OF ANOKA

**FOUR YEAR COMPARATIVE FINANCIAL REPORT
FOR THE PERIOD ENDING MARCH 31, 20XX**

GENERAL FUND

	2016	2015	2014	2013
Revenues				
Property Taxes	\$1,560,135	\$1,319,096	\$1,324,525	\$1,352,613
Franchise Fees	230,090	245,814	241,785	223,088
Licenses and Permits	134,197	255,886	106,955	59,326
Intergovernmental Revenue	521,189	459,571	502,207	318,487
Charges for Services	115,386	231,082	306,165	162,182
Fines and Forfeitures	17,171	17,017	21,289	19,264
Interest Earnings	24,717	32,621	35,538	12,144
Other Miscellaneous	50,779	16,285	17,809	16,526
Transfers In	98,500	91,250	90,000	175,000
Total	\$2,752,164	\$2,668,622	\$2,646,273	\$2,338,630
Expenditures				
Mayor/Council	\$18,320	\$19,802	\$27,472	\$20,431
Administrative Services	65,495	78,604	69,528	81,259
Finance	91,295	78,456	86,837	95,388
Legal	41,406	43,156	28,646	30,528
Planning/Inspections	101,352	97,784	136,978	101,168
Community Development	32,010	25,014	29,551	25,644
Municipal Building	58,909	100,288	117,176	60,419
Police	1,031,574	898,767	919,328	846,515
Fire	147,983	137,865	133,875	128,393
Public Works	322,468	267,387	258,577	269,031
Recreation	206,787	178,792	179,024	110,425
Parks	136,180	159,686	109,104	135,266
Unallocated	5,798	12,028	4,514	393
Transfers	1,065,900	23,500	305,000	187,500
Total	\$3,325,477	\$2,121,129	\$2,405,610	\$2,092,361
Sources (Uses) of Fund Balance	(\$573,313)	\$619,214	\$158,563	\$246,269

CITY OF ANOKA

**FOUR YEAR COMPARATIVE FINANCIAL REPORT
FOR THE PERIOD ENDING MARCH 31, 20XX**

GENERAL FUND

	<u>2016</u>	<u>2015</u>	<u>2014</u>	<u>2013</u>
Revenues				
TAXES	\$ 1,560,135	\$ 1,319,096	\$ 1,324,525	\$ 1,352,613
FRANCHISE FEES	230,090	245,814	241,785	223,088
LICENSE & PERMITS	134,197	255,886	106,955	59,326
INTERGOVERNMENTAL	521,189	459,571	502,207	318,487
CHARGES FOR CURRENT SERV	115,386	231,082	306,165	162,182
FINES & FORFEITURES	17,171	17,017	21,289	19,264
INTEREST EARNINGS	24,717	32,621	35,538	12,144
MISCELLANEOUS	50,779	16,285	17,809	16,526
TRANSFER IN	98,500	91,250	90,000	175,000
Total	\$2,752,164	\$2,668,622	\$2,646,273	\$2,338,630
Expenditures				
PERSONAL SERVICES	\$ 1,289,293	\$ 1,255,614	\$ 1,397,887	\$ 1,234,485
SUPPLIES	42,843	37,289	22,944	24,977
PROFESSIONAL SERVICES	331,128	280,170	286,585	243,715
CONTRACTUAL SERVICES	422,316	355,009	247,298	268,777
FIRE CONTRACT SERVICES	147,983	137,865	133,875	128,393
CAPITAL	26,014	31,682	0	0
MISCELLANEOUS	0	0	4,514	393
TRANSFERS OUT	1,065,900	23,500	305,000	187,500
Total	\$3,325,477	\$2,121,129	\$2,398,103	\$2,088,241
Sources of Fund Balance	(\$573,313)	\$547,493	\$248,170	\$250,389

CITY OF ANOKA

2016 FINANCIAL REPORT - MARCH

STATUS OF RESERVES

<u>Fund</u>	<u>Beginning Balance 1/1/2016</u>	<u>Balance 3/31/2016</u>	<u>Dollar Difference</u>	<u>Balance 3/31/2015</u>
General Fund	\$ 4,880,833	\$ 4,307,520	\$ (573,313)	\$ 4,937,609
Urban Development	922,804	937,015	14,211	781,432
Cemetary	396,598	468,703	72,105	441,348
City Parking	746,523	741,345	(5,178)	835,200
Debt Service funds	459,205	210,348	(248,857)	(202,839)
Bldg Improvement Projects	(411,393)	80,585	491,978	(35,967)
State Aid Construction	2,759,407	2,760,373	966	3,268,658
Street Renewal Projects	277,810	536,209	258,399	(164,970)
Park Dedication	79,626	79,221	(405)	128,359
Park Capital Projects	128,375	255,369	126,994	(546,738)
Aquatic Center Projects	90,332	90,514	182	115,632
City Tax Increment Districts	2,607,051	2,385,526	(221,525)	2,612,608
Central Garage Fund	138,333	142,768	4,435	155,888
Data Processing Fund	240,909	271,787	30,878	162,091
Insurance Fund	1,121,068	1,089,686	(31,382)	945,803
Housing & Redevel.	1,094,804	1,138,536	43,732	1,138,536
HRA Tax Increment Districts	882,245	1,360,723	478,478	1,360,723
CASH AND INVESTMENTS - ALL FUNDS				
	<u>3/31/2015</u>	<u>3/31/2016</u>		
Total City Cash & Investments	\$ 27,976,020	\$ 28,423,913	\$ 447,893	

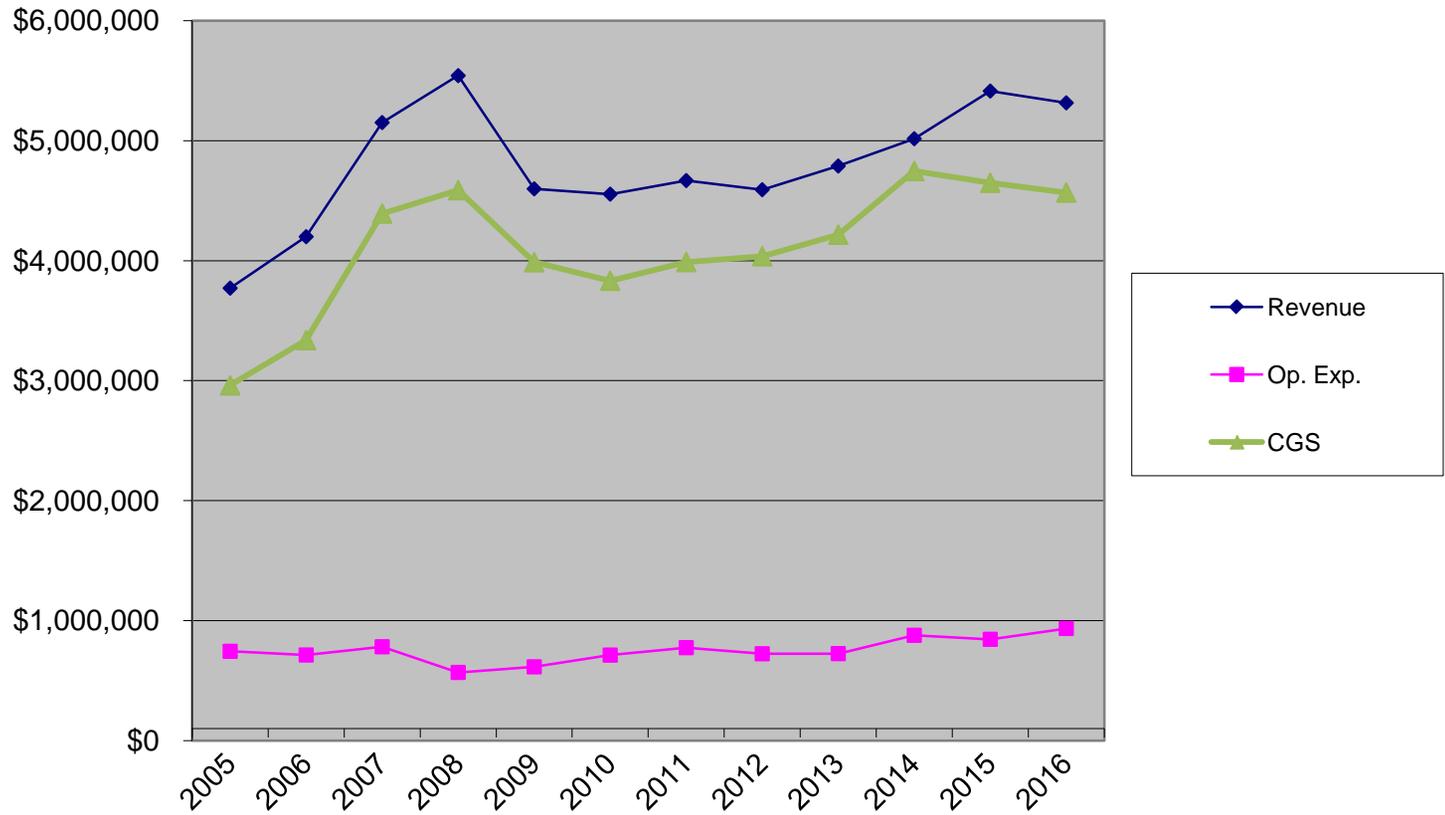
CITY OF ANOKA

2016 FINANCIAL REPORT - MARCH

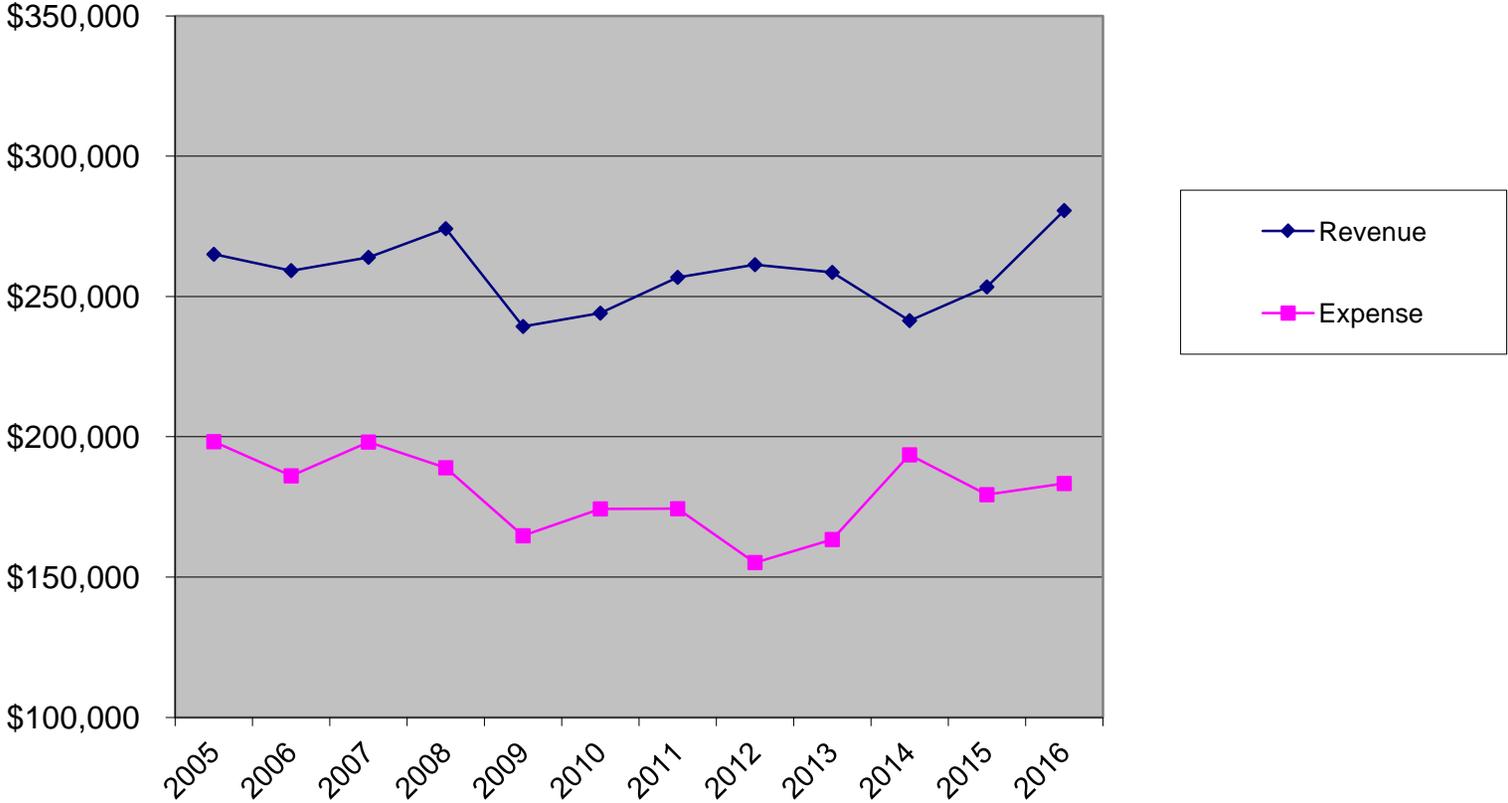
ENTERPRISE FUNDS
Year to Date, March 31, 2016

	<u>Electric</u>	<u>Water</u>	<u>Sewer</u>	<u>Storm Sewer</u>	<u>Liquor</u>	<u>Golf Course</u>	<u>Refuse</u>	<u>Recycling</u>
Revenue	\$ 5,315,385	\$ 280,621	\$ 417,041	\$ 102,351	\$ 901,197	\$ 133,009	\$ 26,771	\$ 49,749
Power/Disposal/CGS	4,567,711		342,962		679,880	7,502	26,024	51,496
Operating Expense	<u>934,330</u>	<u>183,343</u>	<u>94,773</u>	<u>29,632</u>	<u>167,351</u>	<u>177,628</u>	<u>4,079</u>	<u>14,063</u>
Operating Income(Loss)	(186,656)	97,278	(20,694)	72,719	53,966	(52,121)	(3,332)	(15,810)
Non-Operating Revenue (Expense)	<u>(186,950)</u>	<u>(91,217)</u>	<u>(78,578)</u>	<u>(19,815)</u>	<u>(35,579)</u>	<u>(24,631)</u>	<u>510</u>	<u>27,316</u>
Net Income (Loss)	\$ (373,606)	\$ 6,061	\$ (99,272)	\$ 52,904	\$ 18,387	\$ (76,752)	\$ (2,822)	\$ 11,506
Capital Outlay	(23,521)	(45,502)	(163,176)	0	0	(204,337)	0	0
Cash Balance 3/31/15	\$ 11,755,072	\$ 1,793,363	\$ 1,130,935	\$ 214,478	\$ 1,077,408	\$ 229,019	\$ 133,332	\$ 121,198
Cash Balance 3/31/16	\$ 12,568,280	\$ 1,556,548	\$ 985,882	\$ 109,505	\$ 1,123,130	\$ 112,919	\$ 125,567	\$ 132,019
Cash Variance	813,208	(236,815)	(145,053)	(104,973)	45,722	(116,100)	(7,765)	10,821
Explanation of Cash Variances	loan reduction	infrastructure	equipment	infrastructure		capital purchase		

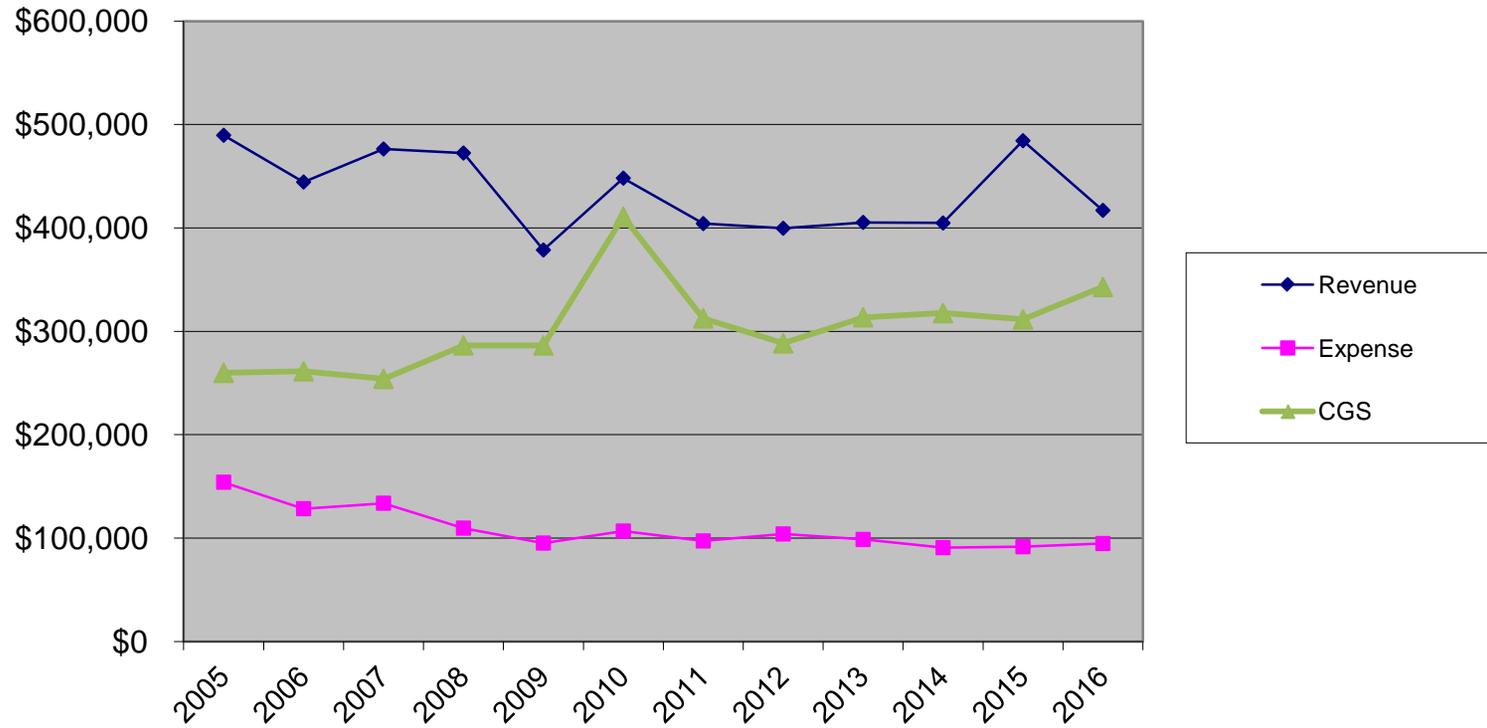
Electric Operating Revenue and Expense as of March 31, 20XX



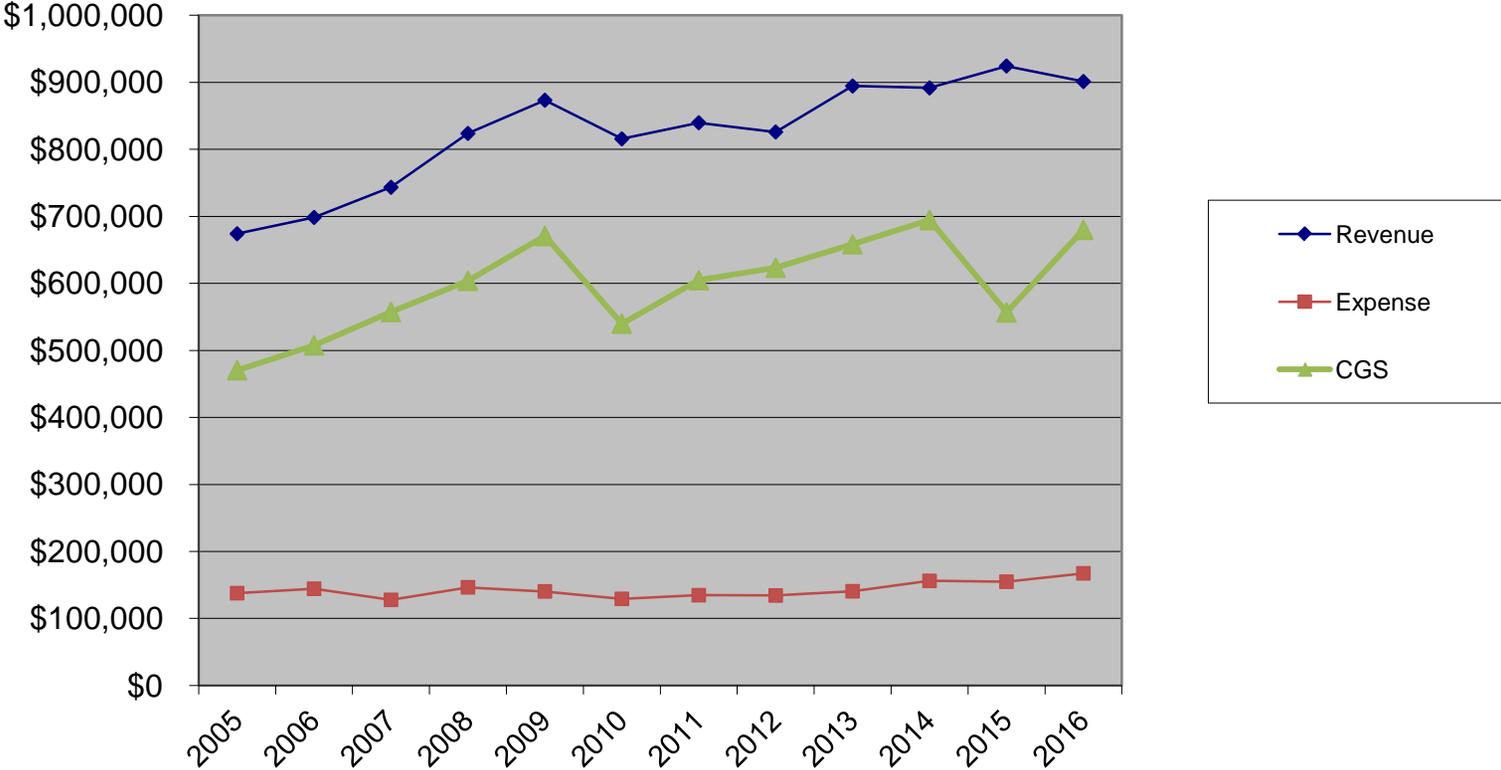
Water Operating Revenue and Expense as of March 31, 20XX



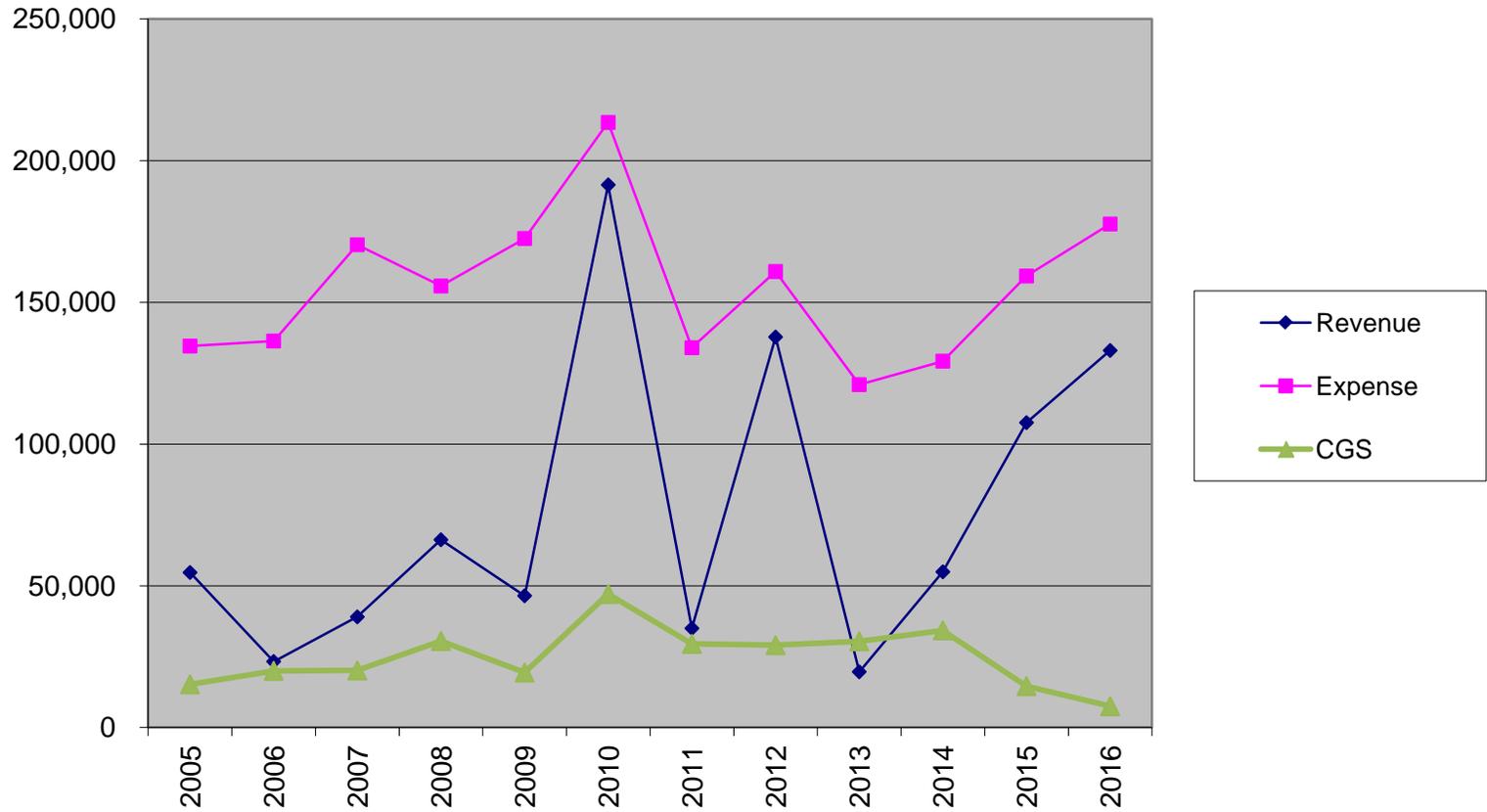
Sewer Operating Revenues and Expense as of March 31, 20XX



Liquor Operating Revenue and Expense as of March 31, 20XX



Golf Operating Revenue and Expense as of March 31, 20XX



CITY OF ANOKA

CURRENT AND HISTORIC QUARTERLY REPORT FOR ENTERPRISE FUND OPERATIONS
(no capital, depreciation or debt)

For the Quarter Ending March 31

	2016	2015	2014	2013	2012	2011
ELECTRIC						
OPERATING REVENUE	5,315,385	5,413,619	5,016,304	4,788,782	4,591,241	4,667,611
Power/Disposal/CGS	4,567,711	4,648,958	4,747,030	4,216,473	4,036,994	3,988,440
OPERATING EXPENSE	<u>934,330</u>	<u>843,857</u>	<u>877,316</u>	<u>724,571</u>	<u>723,399</u>	<u>774,090</u>
OPERATING INCOME (LOSS)	(186,656)	(79,196)	(382,188)	(152,262)	(169,152)	(94,919)
WATER						
OPERATING REVENUE	280,621	253,405	241,405	258,581	261,331	256,808
OPERATING EXPENSE	<u>183,343</u>	<u>179,364</u>	<u>193,558</u>	<u>163,380</u>	<u>155,166</u>	<u>174,352</u>
OPERATING INCOME	97,278	74,041	51,339	95,201	106,165	82,456
SEWER						
REVENUE	417,041	484,423	404,818	405,403	399,701	404,254
Power/Disposal/CGS	342,962	311,510	317,645	313,633	288,424	312,514
OPERATING EXPENSE	<u>94,773</u>	<u>91,685</u>	<u>90,799</u>	<u>98,696</u>	<u>104,033</u>	<u>97,286</u>
OPERATING INCOME	(20,694)	81,228	3,069	(6,926)	7,244	(5,546)
LIQUOR						
REVENUE	901,197	924,365	891,641	894,506	825,941	839,724
Power/Disposal/CGS	679,880	556,666	694,572	658,342	623,289	604,718
OPERATING EXPENSE	<u>167,351</u>	<u>154,844</u>	<u>156,101</u>	<u>140,587</u>	<u>134,305</u>	<u>134,705</u>
OPERATING INCOME	53,966	212,855	48,015	95,577	68,347	100,301
GOLF						
REVENUE	133,009	107,551	54,913	19,638	137,759	34,974
Power/Disposal/CGS	7,502	14,583	34,259	30,412	29,028	29,484
OPERATING EXPENSE	<u>177,628</u>	<u>159,286</u>	<u>129,239</u>	<u>120,955</u>	<u>160,867</u>	<u>133,977</u>
OPERATING INCOME (LOSS)	(52,121)	(66,318)	(107,560)	(133,928)	(52,136)	(128,487)

CITY OF ANOKA

CURRENT AND HISTORIC QUARTERLY REPORT FOR ENTERPRISE FUND OPERATIONS
(no capital, depreciation or debt)

For the Quarter Ending March 31

	2016	2015	2014	2013	2012	2011
STORM SEWER						
REVENUE	102,351	98,064	98,984	98,460	87,060	88,039
OPERATING EXPENSE	<u>29,632</u>	<u>29,470</u>	<u>27,519</u>	<u>20,476</u>	<u>48,605</u>	<u>10,518</u>
OPERATING INCOME (LOSS)	72,719	68,594	71,465	77,984	38,455	77,521
REFUSE						
REVENUE	26,771	23,571	29,922	33,283	37,172	40,360
OPERATING EXPENSE	<u>30,103</u>	<u>32,668</u>	<u>36,252</u>	<u>29,412</u>	<u>32,425</u>	<u>36,343</u>
OPERATING INCOME	(3,332)	(9,097)	(6,330)	3,871	4,747	4,017
RECYCLING						
REVENUE	49,749	49,358	49,197	45,381	45,353	45,230
OPERATING EXPENSE	<u>65,559</u>	<u>61,477</u>	<u>63,076</u>	<u>60,468</u>	<u>57,934</u>	<u>56,185</u>
OPERATING INCOME	(15,810)	(12,119)	(29,806)	(15,087)	(12,581)	(10,955)

CITY OF ANOKA

CURRENT INVESTMENTS

For the Quarter Ending March 31, 2016

	MATURITY DATES				
	<u>2016</u>	<u>2017</u>	<u>2018</u>	<u>2019</u>	<u>2020-2023</u>
CERTIFICATE OF DEPOSIT	\$7,774,000	\$741,000	\$452,000	\$249,000	\$200,000
AGENCY'S	\$1,500,000	\$1,000,000	\$750,000	\$3,755,000	\$4,500,000
MUNICIPAL		\$1,615,000	\$1,135,000		\$500,000
BANKERS ACCEPTANCE	\$3,004,831				
MONEY MKT FUND	\$1,135,531				
TOTAL	<u>\$13,414,362</u>	<u>\$3,356,000</u>	<u>\$2,337,000</u>	<u>\$4,004,000</u>	<u>\$5,700,000</u>

Average return on investment for 2016 is 1.2%

GOVERNMENTAL FUNDS
BALANCE SHEET
AS OF MARCH 31, 2016

	GENERAL FUND	SPECIAL REVENUE FUNDS	DEBT FUNDS	BUILDING IMPROVEMENT FUND	STATE AID & STREET RENEWAL FUND	PARK CAPITAL FUNDS	TIF FUNDS	TOTAL GOVERNMENTAL FUNDS
ASSETS								
CASH & INVESTMENTS	\$3,297,896	\$2,090,546	\$210,248	\$189,732	\$737,622	\$425,344	\$1,530,981	\$8,482,369
RECEIVABLES	129,278	92,528	7,681		1,844,516		33,642	2,107,645
DUE FROM OTHER FUNDS							2,557,500	2,557,500
INVENTORY	15,221							15,221
LAND HELD FOR RESALE				241,921	2,525,556		2,874,577	5,642,054
TOTAL ASSETS	3,442,395	2,183,074	217,929	431,653	5,107,694	425,344	6,996,700	18,804,789
LIABILITIES								
ACCOUNTS PAYABLE	219,687	2,532	0	0	37,177	240	18,956	278,592
DUE TO OTHER FUNDS	0	0	0	351,068	0	0	4,560,174	4,911,242
DEFERRED REVENUES	107,963	0	7,681	0	1,773,937	0	32,042	1,921,623
TOTAL LIABILITIES	327,650	2,532	7,681	351,068	1,811,114	240	4,611,172	7,111,457
FUND BALANCE								
RESTRICTED EQUITY		2,180,542	210,248	241,921	2,525,556		2,874,577	8,032,844
FUND EQUITY	3,114,745			(161,336)	771,024	425,104	(489,049)	3,660,488
TOTAL LIABILITIES & EQUITY	\$3,442,395	\$2,532	\$217,929	\$431,653	\$5,107,694	\$425,344	\$6,996,700	\$18,804,789

PROPRIETARY FUNDS
BALANCE SHEET
AS OF MARCH 31, 2016

	ELECTRIC FUND	WATER FUNDS	SEWER & STORM SEWER FUNDS	LIQUOR FUND	GOLF FUND	REFUSE & RECYCLING FUND	INTERNAL SERVICE FUND	TOTAL PROPRIETARY FUNDS
ASSETS								
CASH & INVESTMENTS	\$12,568,330	\$1,556,548	\$1,095,386	\$1,126,729	\$122,919	\$257,586	\$2,242,380	\$18,969,878
RECEIVABLES	1,924,810	108,995	207,038		10,456	30,617		2,281,916
DUE FROM OTHER FUNDS	2,628,742		8,533					2,637,275
INVENTORY	613,740			736,109	39,811		33,751	1,423,411
CAPITAL ASSEST	22,941,209	8,786,258	7,604,950	252,593	1,392,016		1,152,429	42,129,455
Total	40,676,831	10,451,801	8,915,907	2,115,431	1,565,202	288,203	3,428,560	67,441,935
LIABILITIES								
ACCOUNTS PAYABLE	156,281	14,176	120,258	266,254	22,447	12,892	20,388	612,696
SALARIES PAYABLE	165,847	22,423	22,423	54,961	45,736	4,205	735,681	1,051,276
DEPOSITS	1,092,915			200	237			1,093,352
DEFERRED REVENUES	37,552			3,183	43,787			84,522
DUE TO OTHER FUNDS			275,000					275,000
BONDS PAYABLE		225,000						225,000
ACCRUED INTEREST PAYABLE		5,500						5,500
TOTAL LIABILITIES	1,452,595	267,099	417,681	324,598	112,207	17,097	756,069	3,347,346
RESTRICTED EQUITY	22,941,209	8,786,258	7,604,950	252,593	1,392,016		1,152,429	42,129,455
FUND EQUITY	16,283,027	1,398,444	893,276	1,538,240	60,979	271,106	1,520,062	21,965,134
TOTAL LIABILITIES & EQUITY	\$40,676,831	\$10,451,801	\$8,915,907	\$2,115,431	\$1,565,202	\$288,203	\$3,428,560	\$67,441,935

INVESTMENTS - 2016
3/31/2016

Broker	Description	PURCHASED		Maturity Date	# of days to maturity	Discount	Purchased Interest	Cost	Weighted Average Maturity VAI	PAR	Accrued Interest Through Last Period	Interest Received YTD	Interest Received LTD	Amortized Premium 12-31-05	Amortized Discount 12-31-05	Estimated Yield (365 day)			
SALES ACTIVITY																			
US Bank	BA	10-28-15	(424,991.00)	1-7-16	71			424,798.22		424,991.00		192.78				0.233%			
US Bank	BA	12-3-15	(1,000,000.00)	1-19-16	47			999,686.67		1,000,000.00		313.33				0.243%			
US Bank	BA	1-6-16	(671,954.00)	1-20-16	14			671,888.67		671,954.00		65.33				0.253%			
US Bank	BA	1-13-16	(240,000.00)	1-21-16	8			239,986.13		240,000.00		13.87				0.264%			
US Bank	BA	11-18-15	(600,000.00)	1-29-16	72			599,676.00		600,000.00		324.00				0.274%			
US ITC	NY, NY Transfer Au	2-8-11	(500,000.00)	2-1-16	1,819		340.28	509,750.00		500,000.00		8,750.00	78,409.72	(9,750.00)		3.107%			
US ITC	Apple Bk	7-29-15	(249,000.00)	2-1-16	187			249,000.00		249,000.00		446.49				0.350%			
US Bank	BA	10-21-15	(213,314.00)	2-5-16	107			213,130.14		213,314.00		183.86				0.294%			
US ITC	Discover Bk, Green	2-11-15	(150,000.00)	2-11-16	365			150,000.00		150,000.00		675.00				0.450%			
US Bank	BA	1-25-16	(606,287.00)	2-11-16	17			606,198.25		606,287.00		88.75				0.314%			
US ITC	Farm Credit	2-22-13	(300,000.00)	2-10-16	1,083			300,000.00		300,000.00		2,800.00	15,000.00			1.998%			
US ITC	Firstmerit bk, OH	2-13-15	(249,000.00)	2-12-16	364			249,000.00		249,000.00		1,241.59				0.500%			
US Bank	BA	12-3-15	(250,000.00)	2-18-16	77			249,818.19		250,000.00		181.81				0.345%			
US Bank	BA	1-25-16	(563,062.00)	2-19-16	25			562,929.05		563,062.00		132.95				0.345%			
US Bank	BA	2-10-16	(214,688.00)	2-23-16	13			214,660.09		214,688.00		27.91				0.365%			
US ITC	21st Century	10-30-15	(249,000.00)	2-26-16	119			249,000.00		249,000.00		162.36				0.200%			
US ITC	Bk of India	8-31-15	(249,000.00)	3-2-16	184			249,000.00		249,000.00		627.62				0.500%			
US ITC	Santander	6-3-15	(249,000.00)	3-3-16	274			249,000.00		249,000.00		560.76				0.300%			
US ITC	Merchants Bank	12-11-15	(245,000.00)	3-11-16	91			245,000.00		245,000.00		274.87				0.450%			
US ITC	Pacific westn, CA	3-20-15	(248,000.00)	3-18-16	364			248,000.00		248,000.00		1,236.60				0.500%			
US ITC	FHLB	4-24-13	(440,000.00)	3-27-23	3,624		660.00	440,000.00		440,000.00		4,400.00	21,340.00			1.999%			
US Bank	BA	2-10-16	(298,350.00)	3-28-16	47			298,170.82		298,350.00		179.18				0.466%			
US ITC	Banc Calif	10-30-15	(249,000.00)	3-30-16	152			249,000.00		249,000.00		311.08				0.300%			
TOTAL		<u>(8,459,646.00)</u>														<u>23,190.14</u>	<u>114,749.72</u>	<u>(9,750.00)</u>	

INVESTMENTS - 2016
3/31/2016

Broker	Description	PURCHASED		Maturity	# of	Purchased	Weighted Average			Accrued	Interest	Interest	Amortized	Amortized	Estimated
		Date	Amount	Date	days to	Interest	Cost	VAI	PAR	Interest	Received	Received	Premium	Discount	Yield
					maturity	Discount				Through	YTD	LTD	12-31-05	12-31-05	(365 day)
										Last Period					
PURCHASE ACTIVITY															
US Bank	BA	1-6-16	671,954.00	1-20-16	14		671,888.67		671,954.00		65.33				0.253%
US Bank	BA	1-13-16	240,000.00	1-21-16	8		239,986.13		240,000.00		13.87				0.264%
US Bank	BA	1-25-16	606,287.00	2-11-16	17		606,198.25		606,287.00		88.75				0.314%
US Bank	BA	1-25-16	563,062.00	2-19-16	25		562,929.05		563,062.00		132.95				0.345%
US Bank	BA	2-10-16	214,688.00	2-23-16	13		214,660.09		214,688.00		27.91				0.365%
US Bank	BA	2-10-16	298,350.00	3-28-16	47		298,170.82		298,350.00		179.18				0.466%
US Bank	BA	1-8-16	309,464.00	4-6-16	89		309,066.17		309,464.00	371.01					0.527%
US Bank	BA	3-2-16	663,700.00	4-29-16	58		663,208.12		663,700.00	245.94					0.466%
US Bank	BA	3-22-16	546,000.00	5-2-16	41		545,738.83		546,000.00	57.33					0.426%
US Bank	BA	2-23-16	500,000.00	5-3-16	70		499,504.17		500,000.00	262.08					0.517%
US Bank	BA	3-31-16	1,485,667.00	5-12-16	42		1,484,945.00		1,485,667.00	17.19					0.422%
US ITC	FHLB	1-7-16	500,000.00	9-9-16	246	3,277.78	504,349.50		500,000.00	7,277.78	(3,277.78)		(2,581.41)		0.709%
US ITC	FNMA	1-7-16	500,000.00	9-28-16	265	859.38	250,992.00		250,000.00	1,578.56	(859.38)		(314.45)		0.703%
US ITC	Safra Bk	1-11-16	248,000.00	10-6-16	269		248,000.00		248,000.00	380.49					0.700%
US ITC	FNMA	1-7-16	500,000.00	11-15-16	313	993.06	502,745.00		500,000.00	2,575.25	(993.06)		(736.68)		0.735%
US ITC	Freddie Mac	1-8-16	500,000.00	3-8-17	425	1,666.67	500,856.00		500,000.00	2,803.66	(1,666.67)		(167.17)		0.853%
US ITC	FNMA	1-11-16	500,000.00	4-27-17	472	1,156.25	501,639.50		500,000.00	2,389.13	(1,156.25)		(277.88)		0.871%
Wells Fargo	United BK	2-17-16	60,000.00	2-20-18	734		60,000.00		60,000.00	77.75					1.100%
US ITC	Freddie Mac	2-1-16	500,000.00	1-29-19	1,093	36.11	500,000.00		500,000.00	1,050.68					1.300%
TOTAL			<u>9,407,172.00</u>												

CITY OF ANOKA

FIRST QUARTER FINANCIAL REPORTS

2016

CITY OF ANOKA - BIG PICTURE

- Total revenues are down slightly and expenditures are down (15%) over last year at this time.

Revenues - \$10.8 million - down (\$300,000)

Expenditures - \$11.2 million - down (\$2.1) million

GENERAL FUND REVENUES

(MARCH 31)

- General fund operating revenues - very little change in total.

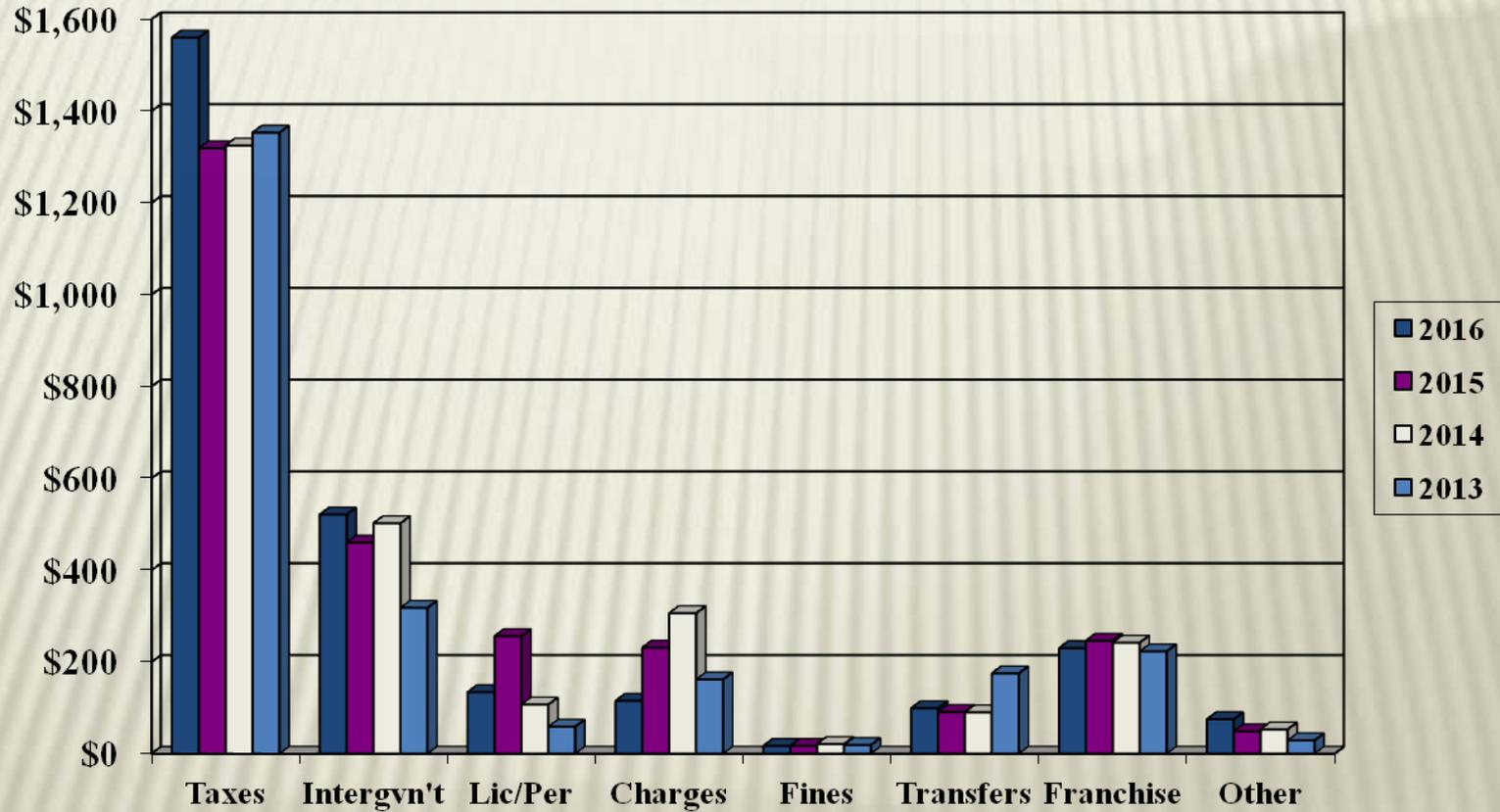
Property tax revenues \$241,000 - increased levy

License & permit revenue (\$122,000) – less permit activity

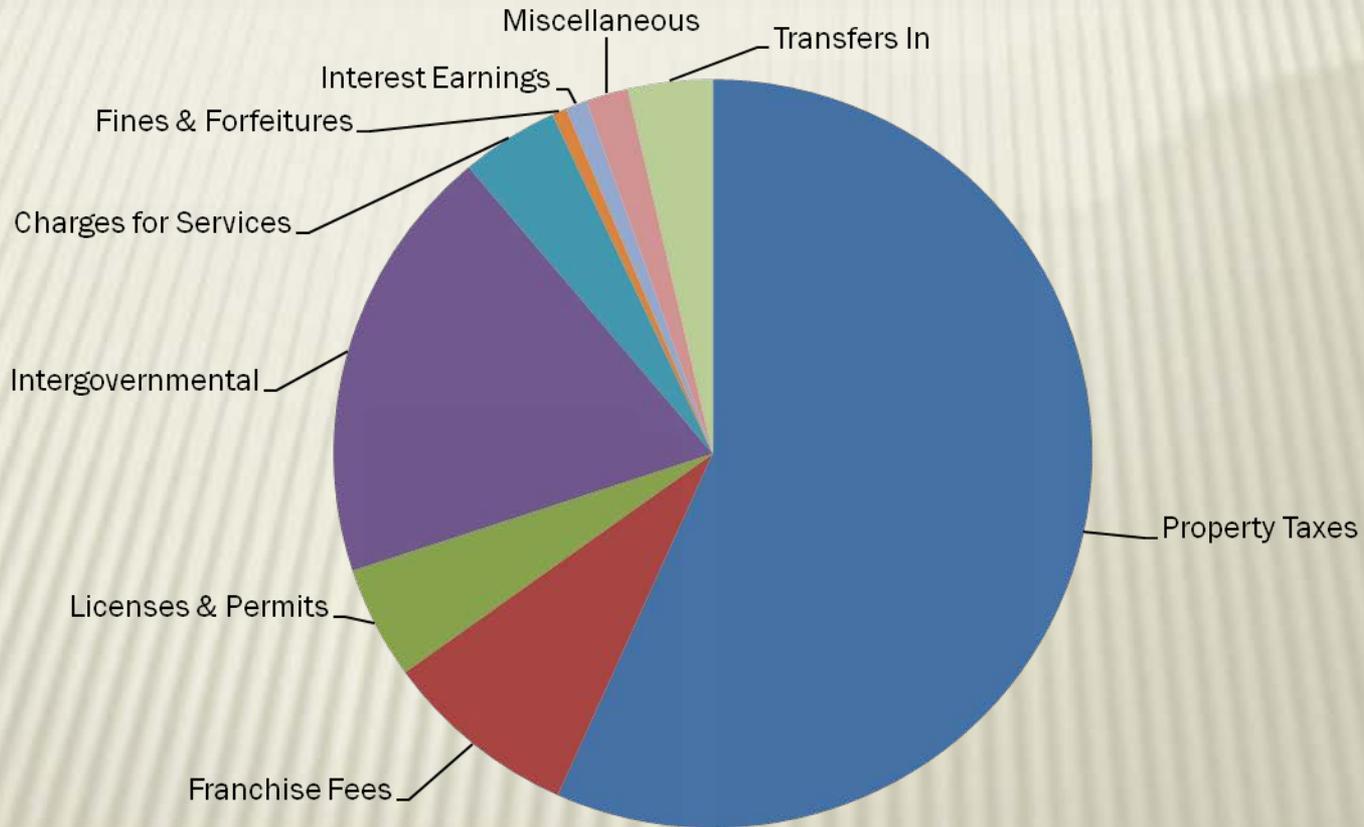
Charges for services (\$116,000) – less permit activity

GENERAL FUND REVENUE COMPARISON

(IN THOUSANDS)



GENERAL FUND REVENUE COMPARISON (IN THOUSANDS)



GENERAL FUND EXPENDITURES

(MARCH 31)

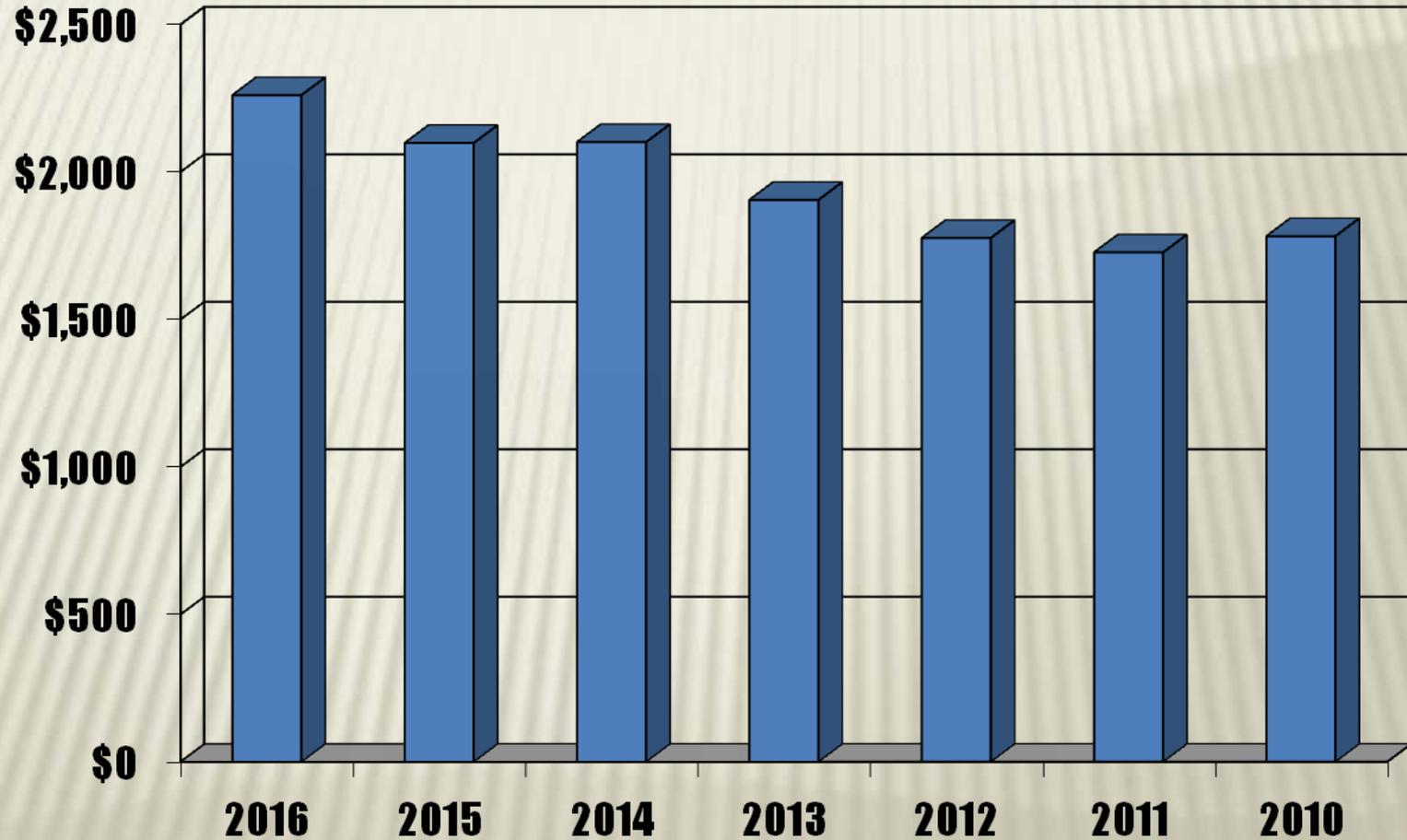
- General fund operating expenditures up \$162,000/ 8%

Salaries and benefits up \$34,000 – (two new security & one new patrol, open positions)

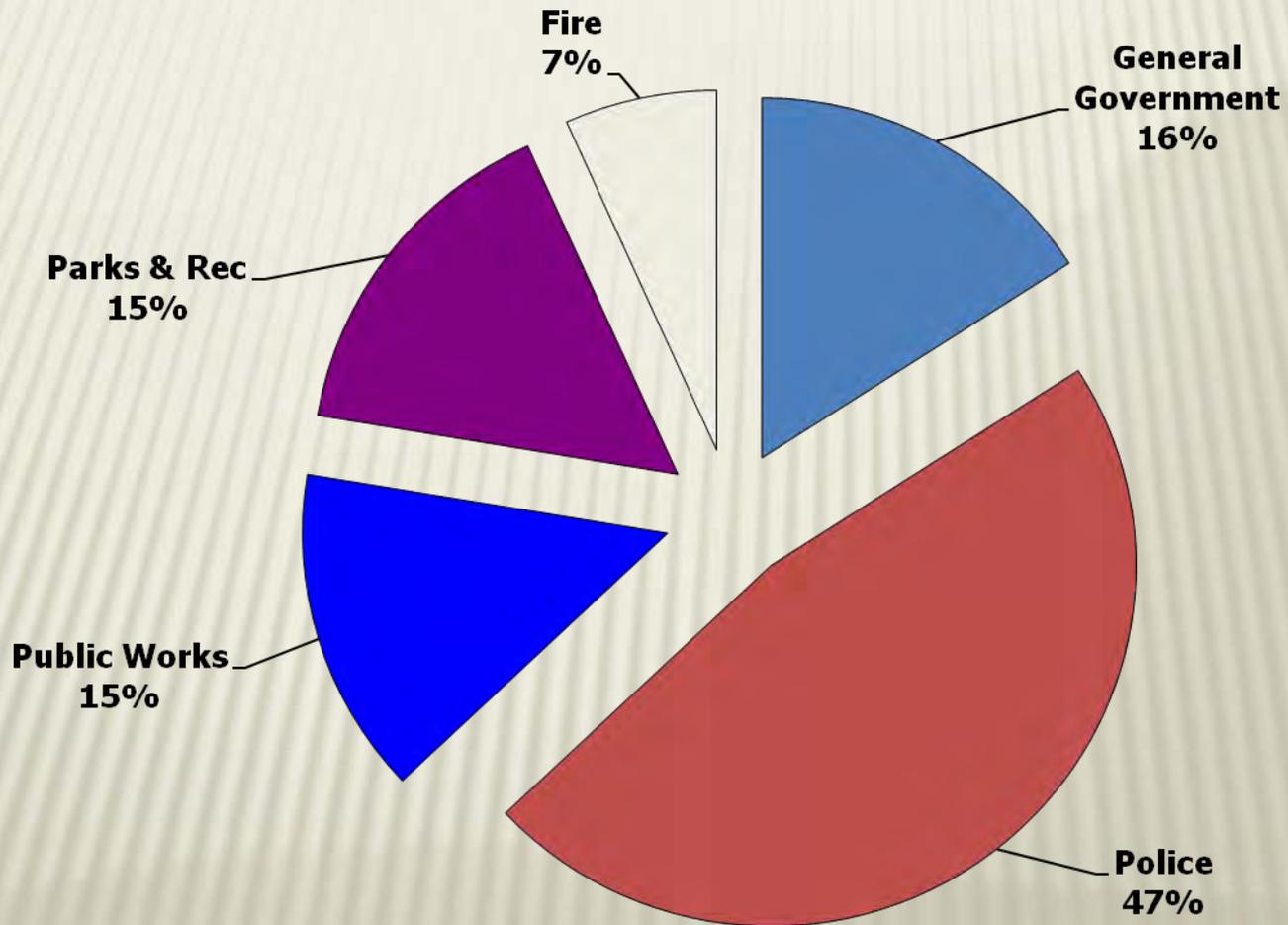
Professional services up \$51,000 – (increased IT service charges, increased police communication services)

Maintenance & Contractual services up \$67,000 – (increased garage service charges and timing of salt purchase)

GENERAL FUND OPERATING EXPENDITURE COMPARISON (EXCLUDING TRANSFERS OUT) (IN THOUSANDS)



GENERAL FUND OPERATING EXPENDITURES



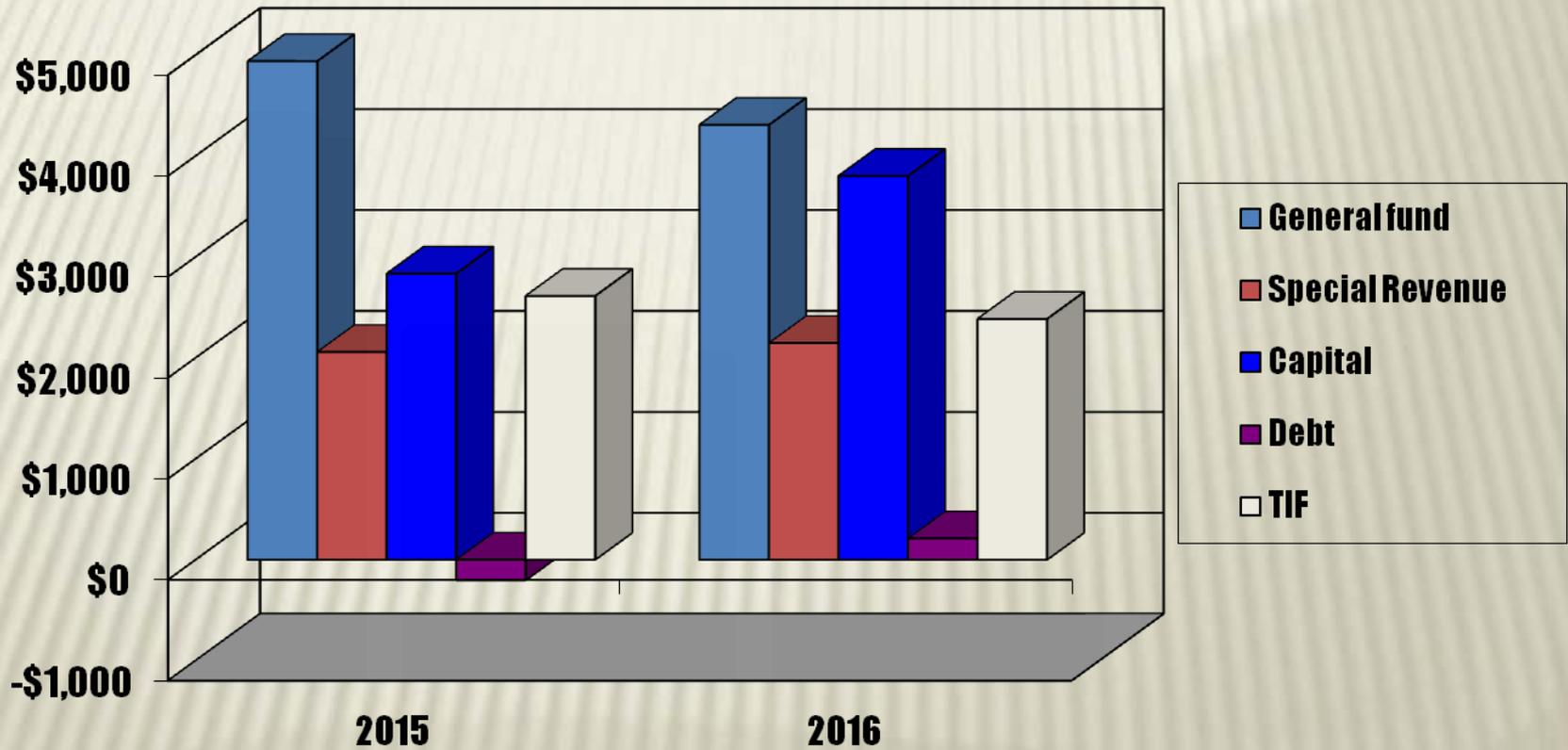
GOVERNMENTAL FUND RESERVES

The largest changes in reserves compared to March of 2015 are found as follows:

- + Street Renewal fund (up \$700,000) – transfers from other funds
- + Debt Service (up \$413,000) transfers from other funds
- + Park Capital fund (up \$800,000) transfers from other funds
- + TIF funds (down \$227,000) projects
- + General fund (down \$630,000) – transfers to capital

GOVERNMENTAL FUND RESERVES

(IN THOUSANDS)



INTERNAL SERVICE FUNDS

- × Data processing - \$272,000.
purchase computer software and equipment in the future.
- × Central garage fund - \$143,000.
replace existing vehicles and equipment for the general government, (police, public works, etc...)
- × Insurance fund - \$1,090,000.
insurance premiums and deductibles.

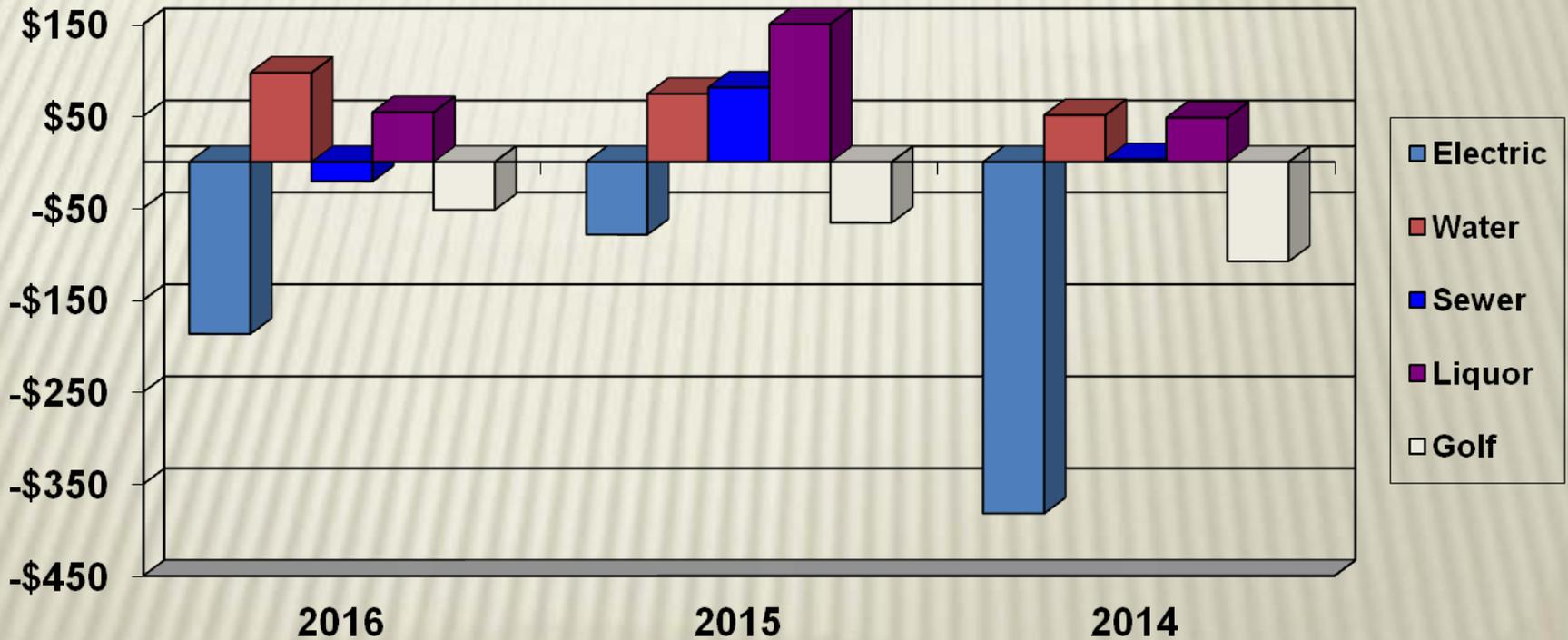
ENTERPRISE FUNDS

- × Electric is currently reflecting an operating loss of (\$187,000). Electric profits occur during the summer months.
- × Golf is currently reflecting an operating loss of (\$52,000). This is normal for the 1st quarter.

ENTERPRISE FUNDS

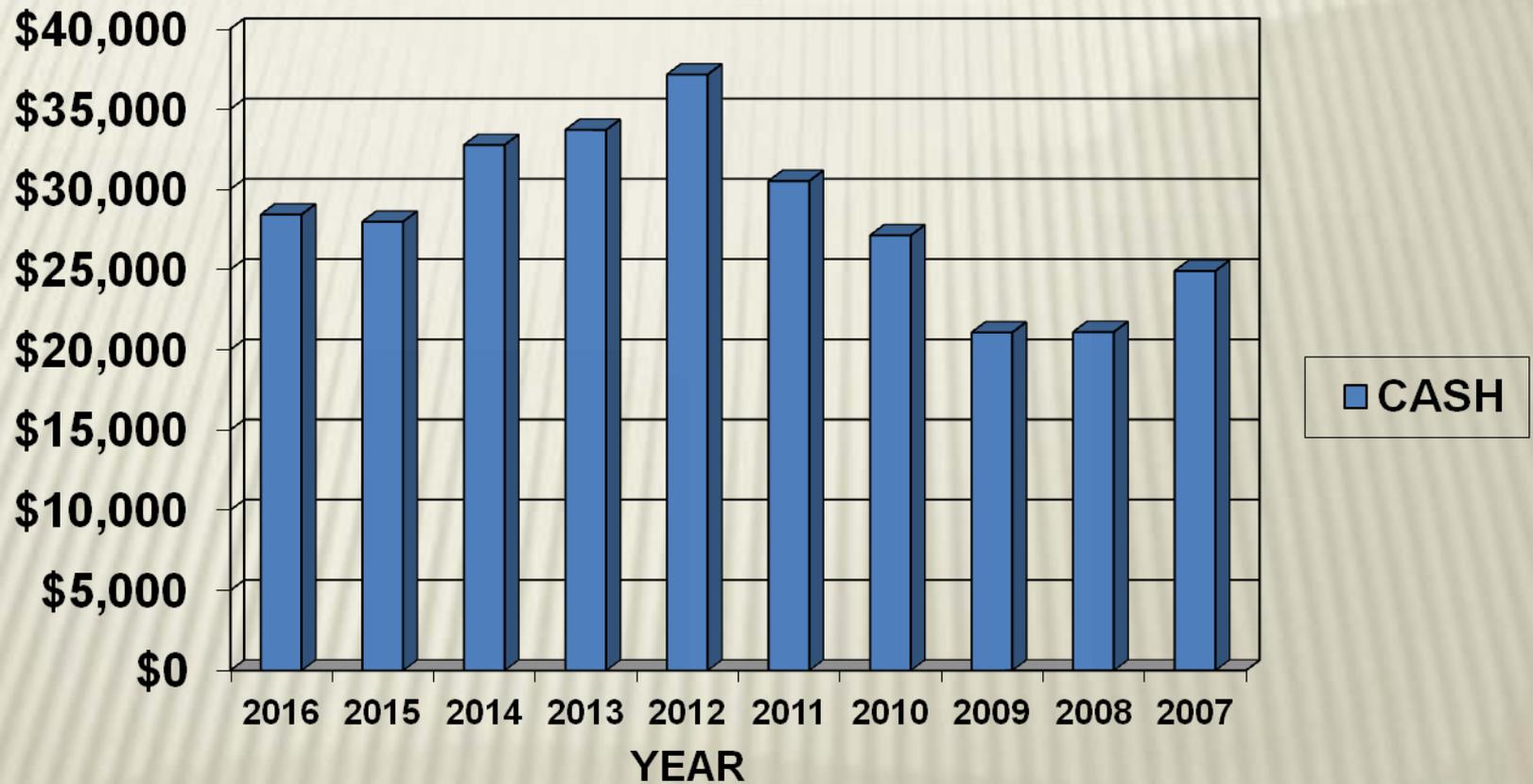
(IN THOUSANDS)

Operating Income (Loss) as of March 31



CASH AND INVESTMENTS

(IN THOUSANDS)



CASH AND INVESTMENTS

Total cash and investments are up slightly when compared to the same time last year.

The average return on investments for the quarter ending March 31, 2016 is slightly more than 1%.

First quarter investment activity included maturities of \$8.5 million and purchases of \$9.4.

Most purchases continue to be for less than one year with the premise of providing funding for improvement projects and purchases in 2016 and 2017.

TYPE OF INVESTMENT

× Certificates of Deposit	\$ 9,416,000
× Agency's	\$11,505,000
× Municipal Bonds	\$ 3,250,000
× Bankers Acceptance	\$ 3,505,000
× Money Market Fund	\$ 1,135,000

MATURITY OF INVESTMENTS

2016	\$13,414,000
2017	\$ 3,356,000
2018	\$ 2,337,000
2019	\$ 4,004,000
2020-2024	\$ 5,700,000

Short term Investments will now be filling the gap in 2017. A majority of the Agency's in years 2019-2024 are callable/step-ups.

OVERALL REPORT

THE CITY OF ANOKA
CONTINUES RESPONSIBLE

FINANCIAL MANAGEMENT

COUNCIL MEMO FORM

12.2

Meeting Date	May 2, 2016
Agenda Section	Updates & Reports
Item Description	Tentative Agendas
Submitted By	Amy Oehlers, City Clerk

BACKGROUND INFORMATION

Attached are the tentative agenda(s) for future meeting(s).

FINANCIAL IMPACT

None.

COUNCIL ACTION REQUESTED

Request Council review and discuss upcoming agenda(s).



City Council - Regular Meeting

Monday, May 16, 2016 - 7:00 p.m.

Council Chambers

(meeting will be cablecast)

1. **CALL TO ORDER**
2. **ROLL CALL**
3. **COUNCIL MINUTES**
 - 3.1 May 2, 2016 Regular Mtg.
4. **OPEN FORUM** **The open forum is an opportunity for the public to address the City Council concerning items not listed on the agenda. Please raise your hand to be recognized by the Mayor or member officiating the meeting. Approach the podium and state your full name and address for the record. Rules of Conduct as listed in the public folder provided at the entrance of the Council Chambers must be adhered to.*
 - 4.1 Proclamation; National Public Works Week.
5. **PUBLIC HEARING(S)**
6. **CONSENT AGENDA**
 - 6.1 Verified Bills.
 - 6.2 Revising & Setting Council Calendars.
7. **REPORTS OF OFFICERS, BOARDS & COMMISSIONS**
 - 7.1 Planning Items:
 - 7.1.A RES/Variance Extension; 208 Clay St.
8. **PETITIONS, REQUESTS & COMMUNICATION**
9. **ORDINANCES & RESOLUTIONS**
 - 9.1 ORD/Amending Chpt 46; Offenses & Miscellaneous Provisions, Article III. Offenses Involving Public Safety. (2nd Reading)
RES/Approving Summary for Publication; Chapter 46, Article III.
 - 9.2 ORD/Amending Chpt 14, Article VII; Special Events. (1st Reading)
 - 9.3 ORD/Amending Chpt 48; Article I; Property Maintenance Standards. (1st Reading)
 - 9.4 ORD/Amending Chpt 50; Article II; Snow & Ice Removal. (1st Reading)
 - 9.5 RES/Approving Development Agreement with Dennis & Beverly Medved.
 - 9.6 RES/Joint Powers Agreement/BCA; Data Services.

10. **UNFINISHED BUSINESSES**

11. **NEW BUSINESS**

- 11.1 Amending City Policy #97-107; Snow Removal.
- 11.2 Amending City Policy #2010-02; Special Events.

12. **UPDATES & REPORTS**

- 12.1 Tentative Agendas.

ADJOURNMENT



City Council - Worksession
Monday, May 23, 2016 - 5:00 p.m.
Council Worksession Room
(meeting will not be cablecast)

1. **CALL TO ORDER**
2. **ROLL CALL**
3. **COUNCIL BUSINESS and/or DISCUSSION ITEMS**
 - 3.1 Discussion; Equipment Replacement Plan (ERP).
 - 3.2 Discussion; Capital Improvement Plan (CIP).
4. **ADJOURNMENT**



City Council - Regular Meeting

Monday, June 6, 2016 - 7:00 p.m.

Council Chambers

(meeting will be cablecast)

1. **CALL TO ORDER**
2. **ROLL CALL**
3. **COUNCIL MINUTES**
 - 3.1 May 16, 2016 Regular Mtg.
 - May 23, 2016 Worksession.
4. **OPEN FORUM** **The open forum is an opportunity for the public to address the City Council concerning items not listed on the agenda. Please raise your hand to be recognized by the Mayor or member officiating the meeting. Approach the podium and state your full name and address for the record. Rules of Conduct as listed in the public folder provided at the entrance of the Council Chambers must be adhered to.*
 - 4.1 Audit Presentation.
5. **PUBLIC HEARING(S)**
 - 5.1
6. **CONSENT AGENDA**
 - 6.1 Verified Bills.
 - 6.2 Revising & Setting Council Calendars.
7. **REPORTS OF OFFICERS, BOARDS & COMMISSIONS**
 - 7.1 Planning Items:
8. **PETITIONS, REQUESTS & COMMUNICATION**
9. **ORDINANCES & RESOLUTIONS**
 - 9.1 ORD/Amending Chpt 14, Article VII; Special Events. (2nd Reading)
RES/Approving Summary for Publication; Chpt 14, Article VII.
 - 9.2 ORD/Amending Chpt 48; Article I; Property Maintenance Standards. (2nd reading)
RES/Approving Summary for Publication; Chpt 48, Article I.
 - 9.3 ORD/Amending Chpt 50; Article II; Snow & Ice Removal. (2nd Reading)
RES/Approving Summary for Publication; Chpt 50, Article II.
10. **UNFINISHED BUSINESSES**

11. NEW BUSINESS

- 11.1 Approve Capital Improvement Plan (CIP).
- Approve Equipment Replacement Plan (ERP).

12. UPDATES & REPORTS

- 12.1 Tentative Agendas.

ADJOURNMENT



City Council - Regular Meeting

Monday, June 20, 2016 - 7:00 p.m.

Council Chambers

(meeting will be cablecast)

1. **CALL TO ORDER**
2. **ROLL CALL**
3. **COUNCIL MINUTES**
 - 3.1 June 6, 2016 Regular Mtg.
4. **OPEN FORUM** **The open forum is an opportunity for the public to address the City Council concerning items not listed on the agenda. Please raise your hand to be recognized by the Mayor or member officiating the meeting. Approach the podium and state your full name and address for the record. Rules of Conduct as listed in the public folder provided at the entrance of the Council Chambers must be adhered to.*
5. **PUBLIC HEARING(S)**
 - 5.1
6. **CONSENT AGENDA**
 - 6.1 Verified Bills.
 - 6.2 Revising & Setting Council Calendars.
7. **REPORTS OF OFFICERS, BOARDS & COMMISSIONS**
 - 7.1 Planning Items:
8. **PETITIONS, REQUESTS & COMMUNICATION**
9. **ORDINANCES & RESOLUTIONS**
10. **UNFINISHED BUSINESSES**
11. **NEW BUSINESS**
12. **UPDATES & REPORTS**
 - 12.1 Tentative Agendas.

ADJOURNMENT



City Council - Worksession
Monday, June 27, 2016 - 5:00 p.m.
Council Worksession Room
(meeting will not be cablecast)

1. **CALL TO ORDER**
2. **ROLL CALL**
3. **COUNCIL BUSINESS and/or DISCUSSION ITEMS**
 - 3.1 Discussion: Proposed changes to City Code related to Signs.
 - 3.2 Discussion; Amendments to City Code related to Use of Sidewalks.
 - 3.3 Discussion; Winterfest Event Future Vision.
 - 3.4 Discussion; Unmanned Aerial Device Ordinance.
4. **ADJOURNMENT**