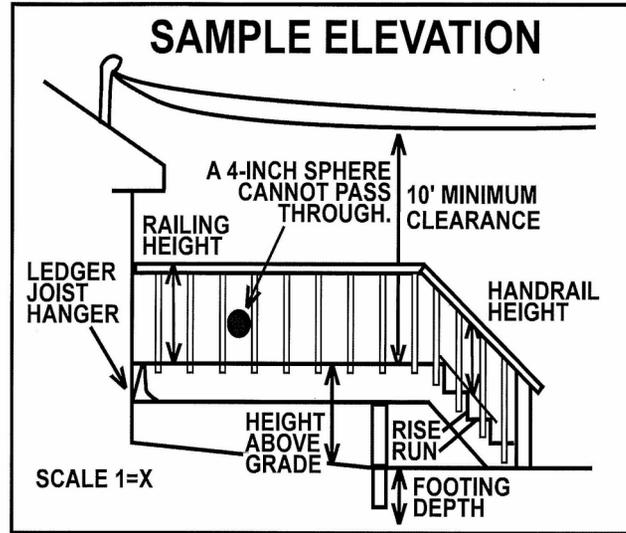


**FLOOR PLAN**

1. Proposed deck size.
2. Size and spacing of floor joists.
3. Size and type of decking material.
4. Size, type, location, and spacing of posts.
5. Size and type of beams.

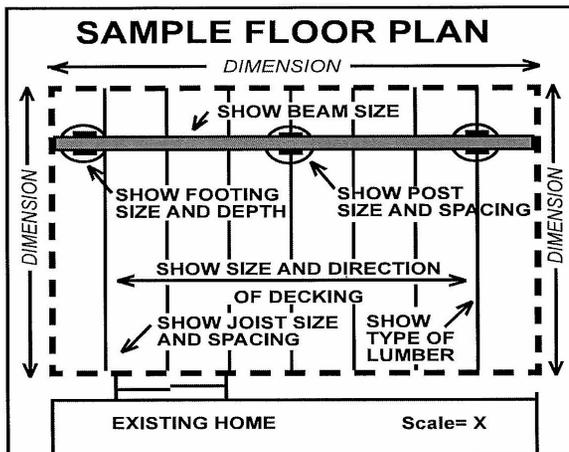
**ELEVATION PLAN**

1. Height of structure from grade.
2. Size and depth of footings.
3. Guard height and spacing (if any).
4. Stairway rise/run and handrail height (if any).
5. Clearance of over-head wires (if applicable).



**DECK PERMITS MADE EASY**

*Guidelines for planning the construction of a deck.*



**GOPHER STATE ONE CALL**

Call at least 2 full business days before you dig

Metro Area 1-651-454-0002

Out State 1-800-252-1156

[www.gopherstateonecall.org](http://www.gopherstateonecall.org)



**Construction Codes and Licensing Division**

**Building Codes and Standards**

443 Lafayette Road No.

St. Paul, MN 55155-4341

651-284-5068

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[www.doli.state.mn.us](http://www.doli.state.mn.us)

City of Anoka  
2015 First Avenue North  
Anoka, MN 55303

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Fax: 763-576-2727  
[www.ci.anoka.mn.us](http://www.ci.anoka.mn.us)

## PERMITS

Building permits are required for all decks that are attached to the home or are 30 inches or more above grade. Decks and platforms not more than 30 inches above adjacent grade and not attached to a structure with frost footings do not require a building permit, but may require a zoning or land use permit.

Decks and platforms are required to meet the land use requirements of the community's zoning code. Zoning questions should be directed to the local planning and zoning department. This is an important first step in the planning of any deck project.

## PERMIT FEES, PLAN REVIEWS, AND INSPECTIONS

Permit fees are established by the city. The plan review is done by the building official in order to spot potential problems or pitfalls that may arise. The building official may make notes on the plan for your use. Inspections are performed at various stages of construction to verify code compliance. Actual permit costs can be obtained by calling the building department at **763-576-2720** with your estimated construction value.

Your Building Official will need:

1. Application for permit.
2. Site plan or survey.
3. Deck plan with all applicable structural details.

## REQUIRED INSPECTIONS

1. *Footings*: After the holes are dug, but PRIOR TO THE POURING OF CONCRETE.
2. *Framing*: To be made after framing is completed. This inspection can be completed at the time of the final inspection if all parts of the framing will be visible and accessible and with prior approval of the Building Official.
3. *Final*: To be made upon completion of the deck.

## SETBACKS

Setbacks from property lines vary depending upon the zoning district your home is located in. Contact Planning and Zoning at **763-576-2723** for the requirements for your home. This is an important first step in the planning for any deck project.

## GENERAL BUILDING CODE REQUIREMENTS

1. Footings must extend to frost depth if attached to the house.
2. Decks need to be designed for a 40-pound per square foot live load and balconies to a 60-pound per square foot live

load. Decks exposed to the weather must be constructed of approved wood with natural resistance to decay such as redwood, cedar or treated wood. Ledger boards must be bolted or lagged to the building and all connections between the deck and dwelling must be flashed. Before using alternative building products, check with the building official.

3. Columns and posts in contact with the ground or embedded in concrete, earth or masonry must be of pressure-treated wood approved for ground contact.
4. Cedar or redwood posts need an 8 inches separation from the ground.
5. All decks, balconies or porches, open sides of landings and stairs which are more than 30 inches above grade or a floor below must be protected by a guard rail not less than 36" in height. Grade is measured at the edge of the structure. Open guard and stair railings require intermediate rails of an ornamental pattern such that a sphere 4 inches in diameter cannot pass through.
6. If a stairway is to be provided, it must be not less than 36 inches in width. Stairways may be constructed having a 7 3/4-inch maximum rise (height) and a 10-inch minimum run (length). The largest tread rise and tread run may not exceed the smallest corresponding tread rise or run by more than 3/8 inch. Stairway illumination as required by the code. Open risers are permitted, provided that the opening between the treads does not permit the passage of a 4 inch diameter sphere.
7. Handrails are required on all stairways having 4 or more risers. Handrails may not be less than 1 1/4 inches nor more than 2 5/8 inches in cross sectional area. Top of handrail must be not less than 34 inches nor more than 38 inches above the nosing (front edge) of treads and they must be returned to a wall or post.
8. The electrical code requires overhead power lines to be located a minimum of 10 feet above decks and platforms. Existing lines may need to be raised if a new deck is to be installed beneath them.
9. **Outside meters, wells, and septic systems.** When locating a deck, care must be given to the location of existing gas and electric meters, wells, and septic systems. These may need to be relocated to allow for construction of the deck. Septic systems and wells may be difficult to relocate, requiring an alternative location for the deck. Prior to placement of any deck that will interfere with these devices, contact the Building Official.

10. **Outside water meter readers.** Some utilities use a remote outside water meter-reading device that may need to be relocated to allow for construction of a deck. These devices must be relocated properly and may require special tools. Prior to placement of any deck, that will interfere with the operation or accessibility of the reader, contact your utility companies to obtain information and procedures on relocating these devices.

## NOTICE REGARDING PRESSURE-TREATED WOOD

Recent changes have been made in the chemicals used in the manufacture of pressure-treated wood. Chromate Copper Arsenate, also known as CCA, is being phased out and the most common new treatments approved for outdoor use are Alkaline Copper Quaternary (ACQ) and Copper Azole. According to the lumber and fastener industry, the newer chemicals being used to treat the wood approved for outdoor use are considerably more corrosive than those previously treated with CCA, and therefore require special fasteners, hangers, and greater care in the selection of materials that may come in contact with the wood. The fastener industry has indicated that some of the hangers and fasteners currently on the market may not perform with some of the new treatments.

Designers, builders and home owners will need to pay particular attention to the grade marks on the lumber, and home owners will need to pay particular attention to the grade marks on the lumber, and verify that proper hardware (hangers, nails, brackets) are appropriate with the particular treatment of the lumber. This not only applies to decks utilizing these products but sill plates and posts as well. The code references the American Wood Preservers Association (AWPA), which has published information on this issue. Particular attention should also be made to the manufacturer's installation instructions for the hardware. Questions should be directed to your wood and fastener supplier.

## PLANS: SITE, FLOOR, AND ELEVATION

The following text and sample drawings show the minimum detail expected so the permit process can proceed smoothly.

**TWO sets of each plan are required.** Plans do not need to be professionally drawn. Plans should include all of the information requested and drawn to scale.

**Certificate of Survey or Site Plan** drawn to scale indicating the lot dimensions, the location and a size of the proposed structure. Indicate the setbacks from property lines of the existing and proposed structure(s), including septic system areas and wells if applicable.