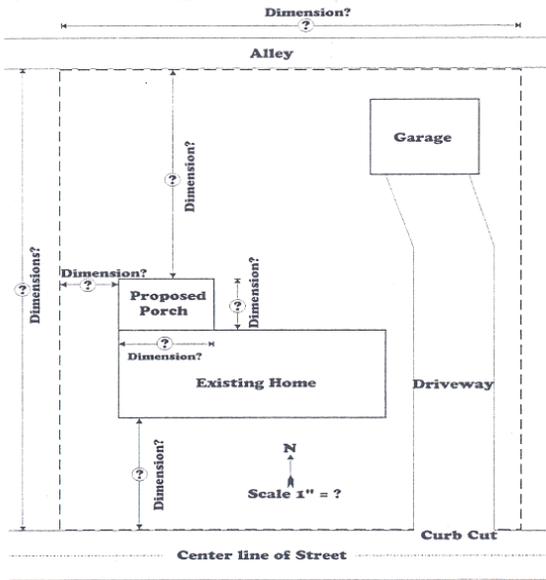


# Sample Site Plan

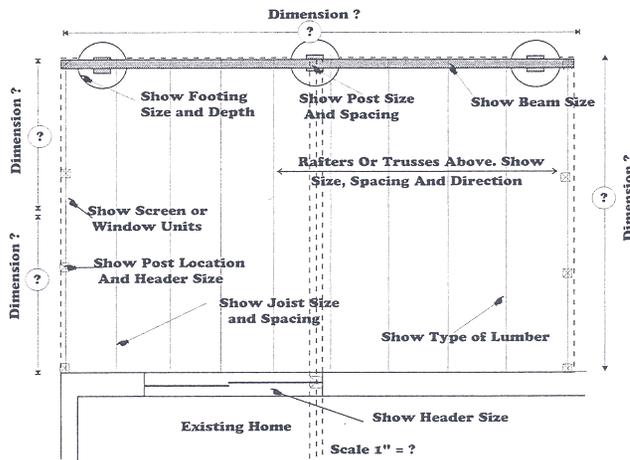


## SUBMIT TWO COPIES OF FLOOR PLAN SHOWING PROPOSED DESIGN AND MATERIALS.

All drawings need to be drawn to scale and the scale should be shown on the drawing. Floor plans should include the following:

1. Proposed size of porch
2. Locations and size of window and door openings
3. Size of headers over all doors and window openings
4. Size, spacing and direction of rafter (roof) materials
5. Size and spacing of floor joists
6. Size, location and spacing of posts
7. Type (grade & species) of lumber to be used

# Sample Floor Plan

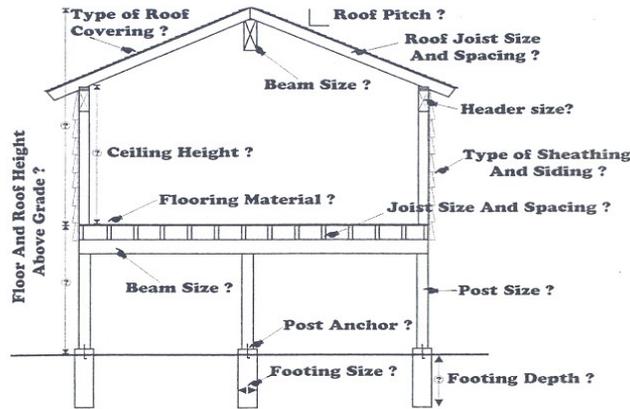


## SUBMIT TWO COPIES OF SECTION SHOWING THE PROPOSED DESIGN

All sections should include the following:

1. Height of structure from grade
2. Size and depth of footings
3. Beam size supporting floor and roof joists
4. Floor joist size and spacing
5. Flooring material
6. Ceiling height
7. Type(s) of sheathing and siding
8. Header size over windows, doors and screened openings
9. Size & spacing of rafters
10. Type(s) of roofing underlayment and roof covering.
11. Pitch of Roof **NOTE:** If truss roof system is to be used, submit one copy of stamped pre-engineered truss designs from manufacturer.

# Sample Section

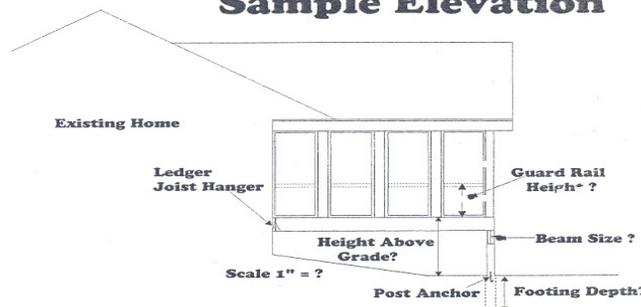


## SUBMIT TWO COPIES OF ELEVATIONS WHICH WILL SHOW APPARANCE OF FINISHED STRUCTURE

All elevations should include the following:

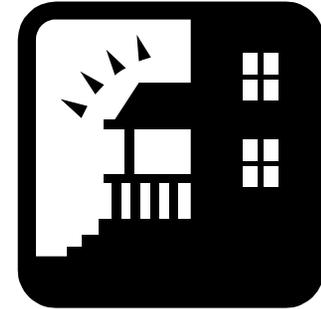
1. Guardrail type and height (if any)
2. Type of openings (screened, windows, sliding doors etc.)
3. Method of attachment to existing structure
4. Other information not shown on the section that may be needed to clearly show the construction being proposed.

# Sample Elevation



# PORCHES PERMITS MADE EASY

*Guidelines for planning the construction of a porch.*



City of Anoka  
2015 First Avenue North  
Anoka, MN 55303

Tel: 763-576-2720  
Fax: 763-576-2727  
www.ci.anoka.mn.us

## PERMITS

Building permits are required for construction of all new three-and four-season porches and for conversion of a three season porch to four-season. The Minnesota Building Code requires porches that are to be heated (four-season porches) to comply with the state Energy Code in addition to other provisions of the code for construction of heated structures. Porches must also meet the land use requirements of the community's zoning code. Zoning questions should be directed to the planning and zoning department at 763-576-2720.

## PERMIT FEES

The building fee is based on the project's construction value and is designed to cover the cost of a plan review and the field inspections that will be done during the construction. The plan review is done by the building official in order to spot potential problems or pitfalls that may arise. The inspector may make notes on the plan for your use. Construction inspections will be done assuming the materials you use are installed safely. The plan review and inspections are not designed to be a guarantee of the work but are done to provide a reasonable degree of review and observation so the project will be successful, safe, and long lasting. Actual permit costs may be obtained by calling the Building Department with your estimated construction value at 763-576-2720.

Note: Setbacks from property lines vary depending upon the zoning district your home is located in. Contact the Planning and Zoning Department at 763-576-2720 for the requirements for your location. This is an important first step in the planning for any porch project.

### Your Building Inspector will need:

1. Permit application
2. Site plan or survey
3. Floor plan
4. Section drawing
5. Elevation drawing
6. Energy calculation worksheet (required if the porch is to be heated.)

## REQUIRED INSPECTIONS

1. **Footings:** After the holes are dug, but PRIOR TO THE POURING OF THE CONCRETE!
2. **Framing:** To be made after all framing, blocking, and bracing are in place and prior to covering the construction so as to make it inaccessible for inspection. (This inspection can be completed at the time of the final inspection if all parts of the framing will be visible and accessible at the final inspection.)
3. **Final:** To be made upon completion of the porch and finish grading.
4. **Other inspections:** in addition to the three inspections

**Be sure your contractor is licensed and insured.  
It's the law in Minnesota!**

above, the inspector may make or require other inspections to ascertain compliance with the provision of the code or to assist you with your questions or concerns during the construction process.

## GENERAL BUILDING CODE REQUIREMENTS

- a. Footings must be extended to frost depth and located at extremities of the deck or engineering may be required.
- b. Wood joists 18 inches or closer to grade or wood beams 12 inches or closer to grade and their supports must be of an approved wood (.40 treated) or wood with natural resistance to decay (heartwood of Cedar or redwood.)
- c. Columns and posts in contact with the ground or embedded in concrete or masonry must be of special pressure treated wood approved for ground contact (.40 treated).
- d. Porches, balconies or decks, open sides of landings and stairs which are more than 30 inches above grade or a floor below must be protected by a guardrail not less than 36 inches in height. Open guardrails and stair railings require intermediate rails or an ornamental pattern such that a sphere 4 inches in diameter cannot pass through.
- e. If a stairway is to be provided, it must be not less than 36 inches in width. Stairways may be constructed having a 7 3/4-inch maximum rise (height) and a 10-inch minimum (length). The largest tread rise and tread run may not exceed the smallest corresponding tread rise or run by more than 3/8 inch. Stairways must be constructed of 2x material. Stairway illumination as required by code.
- f. Handrails are required on all stairways having 4 or more risers. Handrails may not be less than 1 1/4" inches nor more than 2 3/8 inches in cross sectional area (diameter). Handrails must be installed not less than 34 inches nor more than 38 inches above the nosing (front edge) of treads as they must be returned to a wall or post.
- g. All exterior construction members exposed to the weather shall be of approved wood of natural resistance to decay such as cedar, redwood or treated wood (.40 treated).
- h. **Wall Framing:** Studs must be placed with their wide dimension perpendicular to the wall and not less than three studs must be installed at each corner of an exterior wall. Minimum stud size is 2" x 4" and spaced not more than 24 inches on center.
- i. **Top Plate:** Bearing and exterior wall studs need to be capped with double top plates installed to provide overlapping at corners and at intersections with other partitions. End joints in double top plates must be offset at least 48 inches.
- j. **Sheathing, Roofing and Siding:** Approved wall

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sheathing, siding, roof sheathing, and roof coverings must be installed according to the manufacturer's specifications.

- k. **Ice and Water Barrier:** Two layers of 15# roofing felt solidly mopped together or one of the approved ice and water shield underlayment materials must be installed on all roofs over porches. The two layers must extend 24 inches inside the exterior wall line of the building.
- l. **Roof Framing:** Size and spacing of conventional lumber used for roof framing depends upon the roof pitch, span, the type of material being used, and the loading characteristics being imposed. Porches must be designed for the snow load required locally. Contact the building official at 763-576-2726 for details. Rafters need to be framed directly opposite each other at the ridge. A ridge board at least 1 inch (nominal) thickness and not less in depth than the cut end of the rafter is required for hand-framed roofs. At all valleys and hips, there also needs to be a single valley or hip rafter not less in depth than the cut of the rafter. Rafters must be nailed to the adjacent ceiling joist to form a continuous tie between exterior walls when the joists are parallel to the rafters. Where not parallel rafters must be tied to a minimum 1-inch by 4-inch (nominal) cross tie spaced a minimum four feet on center. A properly sized and supported ridge beam may be used as an alternative to ridge board with ties for a vaulted ceiling (see sample.) If manufactured trusses are to be used, submit one copy of truss plans signed by a registered engineer.
- m. **Outside meters, wells and septic systems.** If relocation is needed, redesign may be necessary.
- n. **Outside water meter readers.** If relocation is needed, redesign may be necessary.

## PLANS: SITE, FLOOR, AND SECTION

The following text and sample drawings show the minimum detail expected so the permit process can proceed smoothly. Plans do not need to be professionally drawn. However, plans should include all of the information requested. The permit application can be filled out at the time you drop off your plans. Permits can usually be handled by mail by calling the inspection department at 763-576-2720. **Submit Two copies of a certificate of survey or site plan** drawn to scale indicating the lot dimensions, the location and size of the existing structure(s), and the location and a size of the proposed structure. Indicate the setbacks from property lines of the existing and proposed structure(s), including septic system



**Construction Codes  
and Licensing Division  
Building Codes and Standards**  
443 Lafayette Road No.  
St. Paul, MN 55155-4341  
651-284-5068  
Fax 651-2845749  
www.doli.state.mn.us